

HANNIBAL TAVARES  
Mayor



GLENN M. KOSAKA  
Corporation Counsel

RECEIVED

Nov 10 7 54 AM '88

DEPT. OF PLANNING  
COUNTY OF MAUI

**DEPARTMENT OF THE CORPORATION COUNSEL**

County of Maui  
200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII 96793  
TELEPHONE 244-7740

TRANSMITTAL LETTER

To: MR. CHRISTOPHER HART  
DIRECTOR, PLANNING DEPARTMENT  
200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII 96793

Date: NOVEMBER 9, 1988

MAIL  HAND DELIVERY

RE: CIVIL NO. 86-0319(1); McGRANE, et al. v. COUNTY OF MAUI, et al.

Copies	Date	Description
1 FILE		MISCELLANEOUS DOCUMENTS AND PLANS REGARDING THE PIONEER INN
<input type="checkbox"/> For your information		<input checked="" type="checkbox"/> For necessary action
<input type="checkbox"/> For signature		<input type="checkbox"/> Per your request
<input type="checkbox"/> For signature, forwarding as noted below and return		<input type="checkbox"/> Per our conversation
<input type="checkbox"/> For review and comment		<input type="checkbox"/> For your approval
<input type="checkbox"/> For correction		<input type="checkbox"/> Approved as noted
<input type="checkbox"/> For distribution		<input type="checkbox"/> Returned for corrections
<input type="checkbox"/> For recording/filing		<input type="checkbox"/> Disapproved
<input type="checkbox"/> For payment		<input checked="" type="checkbox"/> For your files
		<input checked="" type="checkbox"/> See Remarks below

REMARKS: The above-referenced case has been completed, and we return the various documents received from your office for filing. Thank you for your cooperation on this matter.

cc:  w/enc.  w/o enc.

From: Guy P. D. Archer  
GUY P. D. ARCHER  
Deputy Corporation Counsel  
LTRS18-u-jso

# COUNTY OF MAUI

## LAND USE & CODES ADMINISTRATION DEPARTMENT OF PUBLIC WORKS Application for Building Permit

PERMIT NUMBER

DATE ISSUED

I claim an exemption under Sec. 444-2(7) of the HRS and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within one year after completion.

I claim exemption from the provisions of Chapter 464 HRS. requiring certification and stamping of plans by a registered architect or structural engineer as permitted under Sec. 464-13(b). I further certify that I will record this exemption with the Bureau of Conveyances as required by Sec. 464-13(c).

Approval is granted subject to compliance with the use regulations set forth in Chapter 205, HRS and the Land Use Commission's Rules & Regulations. The owner will provide notice of these use regulations to future owners, heirs and assigns. I acknowledge that I have received from the County of Maui a copy of Sec 205-4.5 HRS.

FOR LAND USE & CODES ADMINISTRATION USE ONLY		
A P P R O V A L S  R E Q U I R E D	AGENCY	SIGNATURE
<input type="checkbox"/>	DEPT. OF WATER	
<input type="checkbox"/>	DEPT. OF HEALTH	<i>Walter J. Jones</i> 9/1/88
<input type="checkbox"/>	FIRE MARSHAL	<i>Robert M. King</i> 08/24/88
<input type="checkbox"/>	ENGIN., LUCA	N/A
<input type="checkbox"/>	BUILDING. LUCA	<i>James L. Kahan</i> 9/12/88
<input checked="" type="checkbox"/>	PLANNING DEPT.	<i>Christine C. Coo</i> 9/19/88

ISSUED BY \_\_\_\_\_ ACCEPT VAL \$ \_\_\_\_\_  
PERMIT FEE \$ \_\_\_\_\_

REMARKS:  
*\* Interior work only.*

Applicant certifies that he/she has determined if there are any restrictive covenants applicable to the proposed construction on subject property and, if so, that the structure herein applied for conforms with said covenants. Applicant acknowledges that County has no responsibility to determine conformance with covenants and hereby agrees to defend and hold County harmless from any and all claims arising out of any alleged breach thereof.

SIGNATURE OF OWNER \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT NAME  
VUARNET FRANCE/COLE OF CALIFORNIA

CONSTRUCTION TYPE  
V-# Fully Sprinklered = 1 hour

OCCUPANCY GROUP  
B-2

OWNERSHIP ZONE FLOOD ZONE  
1 PVT Historic Dist

X \_\_\_\_\_  
SIGNATURE OF OWNER DATE

I hereby certify that I am a bona fide contractor licensed in the State of Hawaii.

X \_\_\_\_\_  
SIGNATURE OF CONTRACTOR DATE

APPLICATION NO. A 88 2850	T M	ZONE 4	SEC 6	PLAT 001	PAR 008	LOT
DATE RECEIVED 08/17/88	K (s)					

### APPLICANT: PLEASE FILL IN AREA BELOW (TYPED)

PROJECT ADDRESS (HOUSE NO. AND STREET) 675 FRONT ST	NATURE OF WORK (CHECK ALL THAT APPLY)		
PROJECT ADDRESS (TOWN AND DISTRICT) LAHAINA	<input type="checkbox"/> NEW BUILDING	<input type="checkbox"/> FENCE	<input type="checkbox"/> FOUNDATION ONLY
LEGAL OWNER (FULL NAME) FREELAND, GEORGE W / ETAL	<input type="checkbox"/> RETAINING WALL	<input type="checkbox"/> SHELL ONLY	<input type="checkbox"/> RELOCATION
MAILING ADDRESS (INCLUDE ZIP CODE) LAHAINA 96761	<input type="checkbox"/> ADDITION	<input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> RECONSTRUCTION
LESSEE/TENANT (1) VUARNET FRANCE/COLE OF CALIFORNIA	<input type="checkbox"/> MISC. STRUCTURE	<input type="checkbox"/> REPAIR	<input type="checkbox"/> DEMOLITION
MAILING ADDRESS (INCLUDE ZIP CODE) 675 FRONT ST LAHAINA 96761	<input type="checkbox"/> SITE WORK	<input type="checkbox"/> SEA WALL	<input type="checkbox"/> SWIMMING POOL
LESSEE/TENANT (2)	NOW OCCUPIED AS RETAIL SHOPS	TO BE OCCUPIED AS RETAIL SHOPS	
MAILING ADDRESS (INCLUDE ZIP CODE)	DIMENSIONS	WALLS	
LESSEE/TENANT (3)	PARTITIONS	FOUNDATION	
MAILING ADDRESS (INCLUDE ZIP CODE)	FLOORS	ROOF	
LESSEE/TENANT (3)	CEILING DROP CEILING	BASEMENT FLOOR	
MAILING ADDRESS (INCLUDE ZIP CODE)	<input checked="" type="checkbox"/> SEWER OR <input type="checkbox"/> CESSPOOL	ROOF OVERHANG	ESTIMATED VALUE OF WORK \$110,000
PLAN MAKER MEDIA FIVE	LICENSE NO.	NO. OF UNITS	NO. OF STORIES
MAILING ADDRESS (INCLUDE ZIP CODE) 345 QUEEN ST 2ND FLR HON 96813	TELEPHONE NO.	FLOOR AREA sf	LOT AREA
BUILDER LATER	LICENSE NO.	DISTANCE TO NEAREST INTERIOR LOT BOUNDARY (FEET)	
MAILING ADDRESS (INCLUDE ZIP CODE)	TELEPHONE NO.	RIGHT:	LEFT:
APPLICANT NAME RAYMOND YOSHIDA	TELEPHONE NO. 878-6911	REAR:	FRONT:
SIGNATURE OF APPLICANT	DATE	REMARKS: Interior work only. Lease space #16 #5524 #14-15 5524	

# FRONT STREET PROPERTIES ASSOCIATES

Post Office Box 50685  
Dallas, Texas 75250  
(214) 953-5948

Pioneer, Inc., Manager  
J. Howard Lennon  
President

214/953-5948

September 6, 1988

Planning Department  
County of Maui  
200 S. High Street  
Wailuku, HI 96793

Re: W. H. Smith, Inc. Lease covering Retail Space Nos. 16  
at the Pioneer Inn, Lahaina, Maui

Gentlemen:

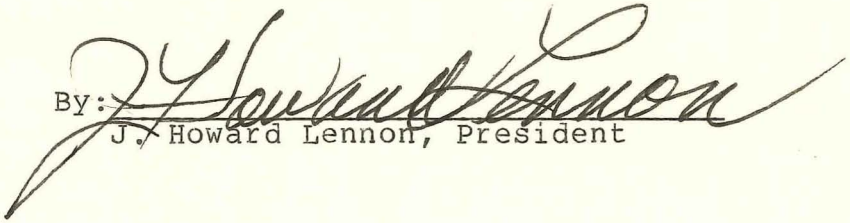
As the owner and holder of the Master Lease covering the Pioneer Inn at Lahaina, Maui, we have heretofore entered into that certain Lease Agreement with W. H. Smith, Inc. d/b/a Vuarnet-France, covering what we have designated as Space No. 16.

We are advised that they have or shall soon apply for the necessary permits to make certain alterations and improvements to the interior of their premises, and that their architects are Media Five, Limited, Honolulu; and that the project is referred to as "Vuarnet-France," tax map key #4-6-01:8.

This is to advise you that, under their lease, they are authorized to perform this work, and we request that you approve and process their plans and all other permits and authorizations required by reason of such undertaking.


FRONT STREET PROPERTIES ASSOCIATION

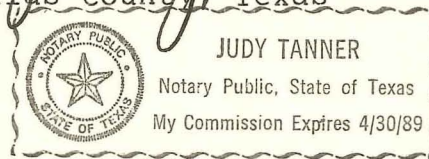
BY:

  
J. Howard Lennon, President

County of Maui  
September 6, 1988  
Page 2

SWORN AND SUBSCRIBED TO BEFORE ME by the said J. HOWARD  
LENNON on this 6 day of September, 1988.

  
Notary Public in and for said  
Dallas County, Texas



JHL:jt  
5298p

cc: Ray Yoshida and Associates  
P.O. Box 1257  
Makawao, HI 96768



FRONT STREET PROPERTIES ASSOCIATES RECEIVED

Post Office Box 50685  
Dallas, Texas 75250  
(214) 953-5948

SEP 8 1 57 PM '88  
DEPT. OF PLANNING  
COUNTY OF MAUI

Pioneer, Inc., Manager  
J. Howard Lennon  
President

214/953-5948

September 6, 1988

Planning Department  
County of Maui  
200 S. High Street  
Wailuku, HI 96793

Re: W. H. Smith, Inc. Lease covering Retail Space Nos. 16  
at the Pioneer Inn, Lahaina, Maui

Gentlemen:


As the owner and holder of the Master Lease covering the Pioneer Inn at Lahaina, Maui, we have heretofore entered into that certain Lease Agreement with W. H. Smith, Inc. d/b/a Vuarnet-France, covering what we have designated as Space No. 16.

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FRONT STREET PROPERTIES ASSOCIATION


By:

  
J. Howard Lennon, President

County of Maui  
September 6, 1988  
Page 2

SWORN AND SUBSCRIBED TO BEFORE ME by the said J. HOWARD  
LENNON on this 6 day of September, 1988.

*Judy Tanner*  
\_\_\_\_\_  
Notary Public in and for said  
Dallas County, Texas

 JUDY TANNER  
Notary Public, State of Texas  
My Commission Expires 4/30/89

JHL:jt  
5298p

cc: Ray Yoshida and Associates  
P.O. Box 1257  
Makawao, HI 96768

# FRONT STREET PROPERTIES ASSOCIATES

Post Office Box 50685  
Dallas, Texas 75250  
(214) 953-5948

Pioneer, Inc., Manager  
J. Howard Lennon  
President

214/953-5948

September 6, 1988

Planning Department  
County of Maui  
200 S. High Street  
Wailuku, HI 96793

Re: W. H. Smith, Inc. Lease covering Retail Space Nos. 14 and 15  
at the Pioneer Inn, Lahaina, Maui

Gentlemen:

As the owner and holder of the Master Lease covering the Pioneer Inn at Lahaina, Maui, we have heretofore entered into that certain Lease Agreement with W. H. Smith, Inc. d/b/a Cole of California, covering what we have designated as Space Nos. 14 and 15.

We are advised that they have or shall soon apply for the necessary permits to make certain alterations and improvements to the interior of their premises, and that their architects are Media Five, Limited, Honolulu; and that the project is referred to as "Cole of California, tax map key #4-6-01:8.

This is to advise you that, under their lease, they are authorized to perform this work, and we request that you approve and process their plans and all other permits and authorizations required by reason of such undertaking.

FRONT STREET PROPERTIES ASSOCIATION

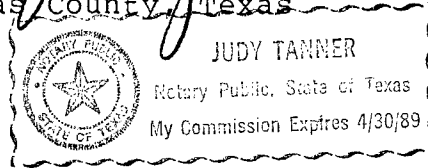
By:

  
J. Howard Lennon, President

County of Maui  
September 6, 1988  
Page 2

SWORN AND SUBSCRIBED TO BEFORE ME by the said J. HOWARD  
LENNON on this 6 day of September, 1988.

*Judy Tanner*  
Notary Public in and for said  
Dallas County, Texas



JHL:jt  
5297p

cc: Ray Yoshida and Associates  
P.O. Box 1257  
Makawao, HI 96768





RECEIVED

JUN 2 10 05 AM '88  
DEPARTMENT OF THE CORPORATION COUNSEL

DEPT. OF PLANNING  
COUNTY OF MAUI  
County of Maui  
200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII 96793  
TELEPHONE 244-7740

TRANSMITTAL LETTER

To: MR. CHRISTOPHER L. HART  
PLANNING DIRECTOR  
COUNTY OF MAUI  
200 SOUTH HIGH STREET  
WAILUKU, MAUI, HAWAII

Date: JUNE 1, 1988

( ) MAIL (X) HAND DELIVER

RE: CIVIL NO. 86-0319(1); McGRANE v. COUNTY OF MAUI, et al.

Copies	Date	Description
1 File		TMK 4-6-01:8 E.I.S./SMA/H.D. PIONEER INN
( ) For your information		(X) For necessary action
( ) For signature and return		( ) Per your request
( ) For signature, forwarding as noted below and return		( ) Per our conversation
( ) For review and comment		( ) For your approval
( ) For correction		( ) Approved as noted
( ) For distribution		( ) Returned for corrections
( ) For recording/filing		( ) Disapproved
( ) For payment		(X) For your files
		(X) See Remarks below

REMARKS: Returned herewith is the above-referenced file for Pioneer Inn. We request that the folder be returned to its proper file. Thank you for your assistance in this matter.

cc: ( ) w/enc. ( ) w/o enc.

From: Guy P. D. Archer  
GUY P. D. ARCHER  
Deputy Corporation Counsel  
MEMO10-zzk-jso

file - H.O.

CARLSMITH, WICHMAN, CASE, MUKAI AND ICHIKI  
ATTORNEYS AT LAW

TELEPHONE  
(808) 242-4535

RECEIVED

FEB 2 1 57 PM '88

DEPT. OF PLANNING  
COUNTY OF MAUI

A PARTNERSHIP INCLUDING LAW CORPORATIONS

2145 WELLS STREET, SUITE 201  
WAILUKU, HAWAII 96793

OFFICES IN:

HONOLULU, HAWAII  
HILO, HAWAII  
KAILUA-KONA, HAWAII  
AGANA, GUAM  
LOS ANGELES, CALIFORNIA  
SAIPAN, CNMI

LETTER OF TRANSMITTAL

TO: Mr. Christopher L. Hart  
Planning Director  
County of Maui  
200 S. High Street  
Wailuku, HI 96793

DATE: February 1, 1988

RE: SMA Permit for Pioneer  
Inn; TMK 4-6-01:8

THE FOLLOWING:

COPIES	DATE	DESCRIPTION
1		35mm slide of completed project.

IS (ARE) TRANSMITTED HEREWITH (UNDER SEPARATE COVER):

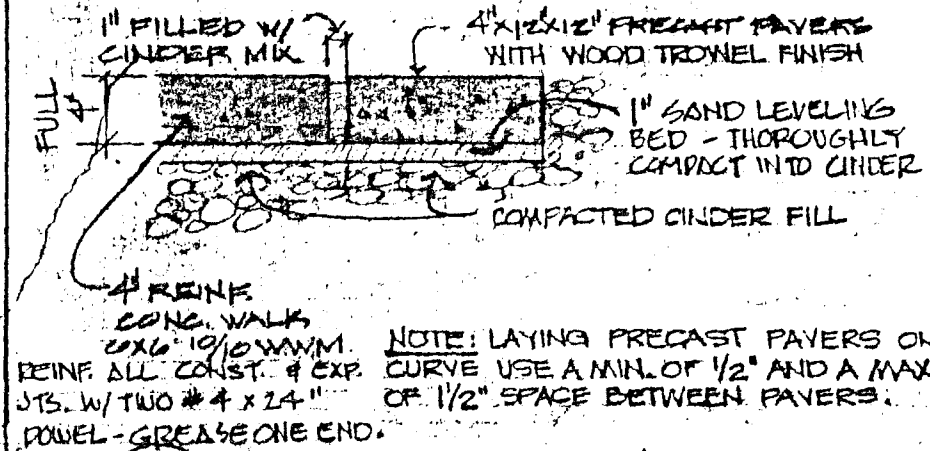
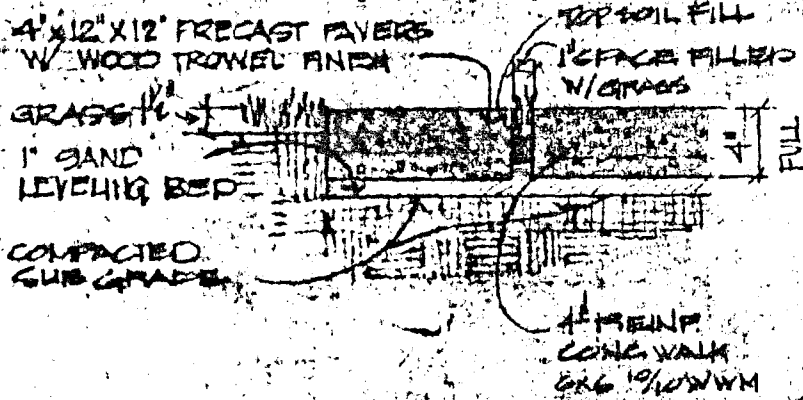
- |   |  |
|---|--|
| <input type="checkbox"/> FOR YOUR INFORMATION                         | <input type="checkbox"/> FOR NECESSARY ACTION      |
| <input type="checkbox"/> FOR SIGNATURE & RETURN                       | <input type="checkbox"/> PER YOUR REQUEST          |
| <input type="checkbox"/> FOR SIGNATURE & FORWARDING<br>AS NOTED BELOW | <input type="checkbox"/> PER OUR CONVERSATION      |
| <input type="checkbox"/> FOR REVIEW & COMMENT                         | <input type="checkbox"/> APPROVED                  |
| <input type="checkbox"/> FOR CORRECTION                               | <input type="checkbox"/> APPROVED AS NOTED         |
| <input type="checkbox"/> FOR DISTRIBUTION                             | <input type="checkbox"/> DISAPPROVED               |
| <input type="checkbox"/> FOR RECORDATION                              | <input checked="" type="checkbox"/> FOR YOUR FILES |
| <input type="checkbox"/> FOR PAYMENT                                  | <input type="checkbox"/> SEE REMARKS BELOW         |

REMARKS:

BY: B. Martin Luna  
B. MARTIN LUNA/mea

# 16 CONCRETE WALK THRU ROAD

SCALE: 1" = 1'-0"

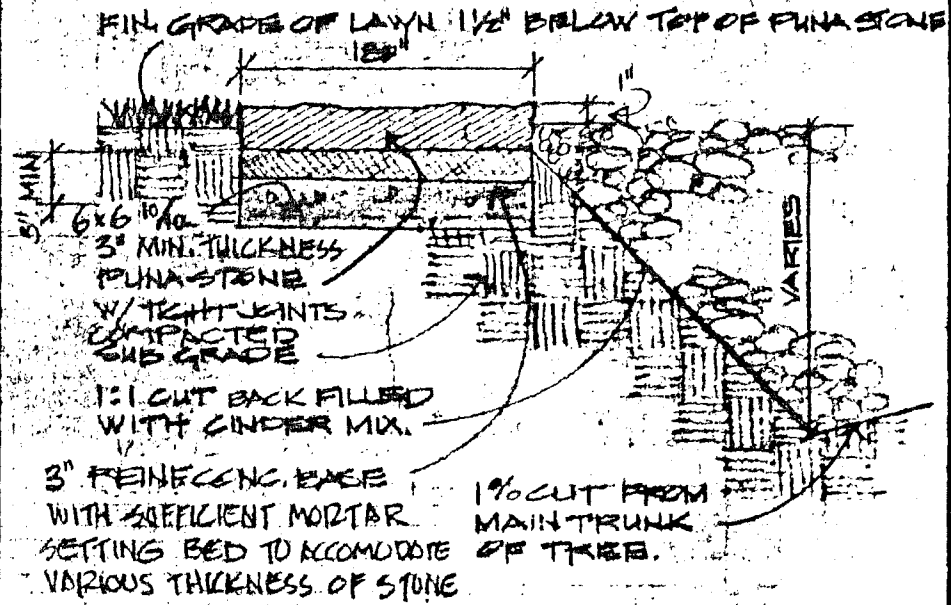
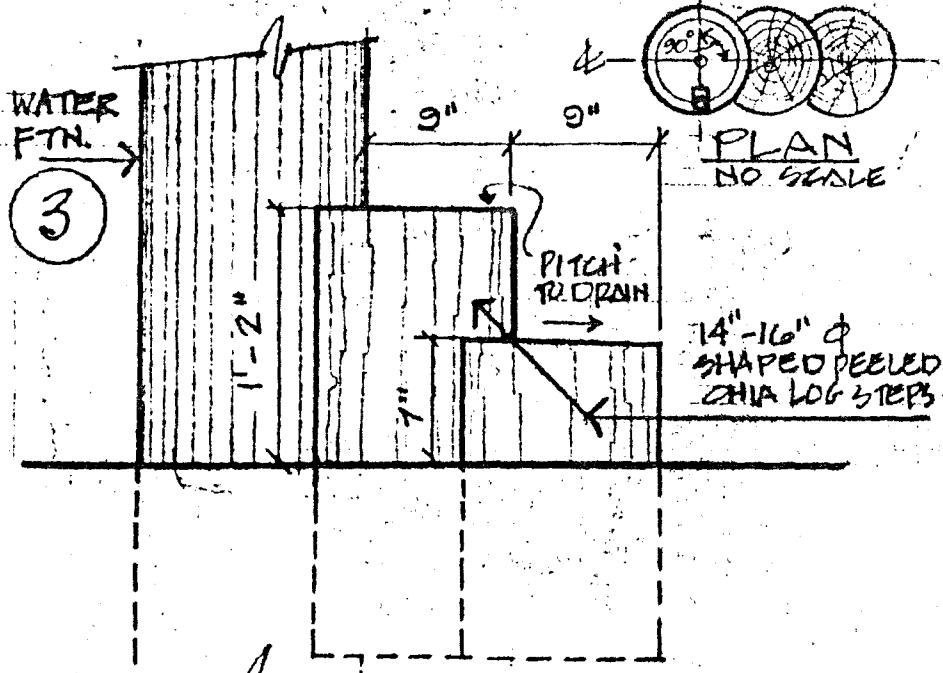


# 17 CONC. WALK & PAVERS @ GRASS

SCALE 1" = 1'-0" SEE 10

# 21 CONC. WALK & PAVERS @ CINDER MIX

SCALE 1" = 1'-0" SEE 10



# 18 WATER FOUNTAIN STEPS

# 22 MOWING STRIP



# 9 IRK TRENCH DET.

NO SCALE

EAST CURB  
 WEST CURB CUT  
 NEW CURB APERTURE  
 MATCH EXIST. CURB  
 CRACK ON CURBS  
 4 PAVERS, 5/8" RUN

4" REINFC CONC  
 WALK EXPOSED  
 ACACRIGASTE FIN.

WOOD TRAVEL PIN  
 1/2" X 1/2" PRECAST  
 PAVERS

**NOTE** LEADS OF  
 CONC WALK AND PRECAST  
 PAVERS SHALL NOT BE TRENCELED FINISH.  
 2 CORAL CHIPS BROADCAST INTO CONCRETE WALK.  
 FOR FINISH - TAMP IN 4 BROOM OFF EXCESS.  
 SIZE OF CORAL CHIPS TO 1/4"

TYPICAL SCORE LINES E.G.  
 @ @ 4" TO LINE UP W/ SPACE  
 BETW PAVERS. SAW CUT  
 1/8" W/ 1/2" X 1/2" SQUARE  
 LINES @ CURVED TO BE ON  
 RADIUS LINE.

AT EAST & NORTH SITE CORNERS  
 SHAPE PAVERS TO FIT WHERE ANGLE

# 12 THRUST BLOCK DET.

NO SCALE

3" LEAD  
 3/4" STAIN  
 MOWING STRIP  
 TIGHT SPACED  
 HIDDEN JOINTS

CINDER MIX  
 GRASS

KICK

# 10 PLAN VIEW @ WALK CURB PAVERS, MOW STRIP

# 17

# 16

# 15

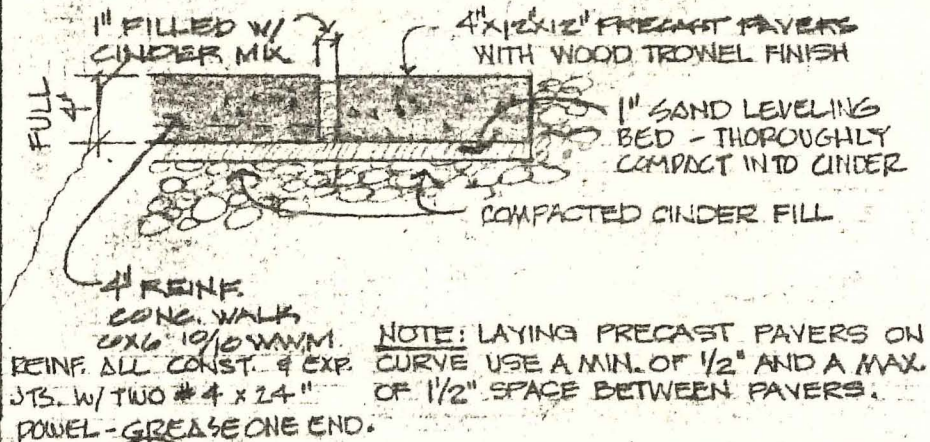
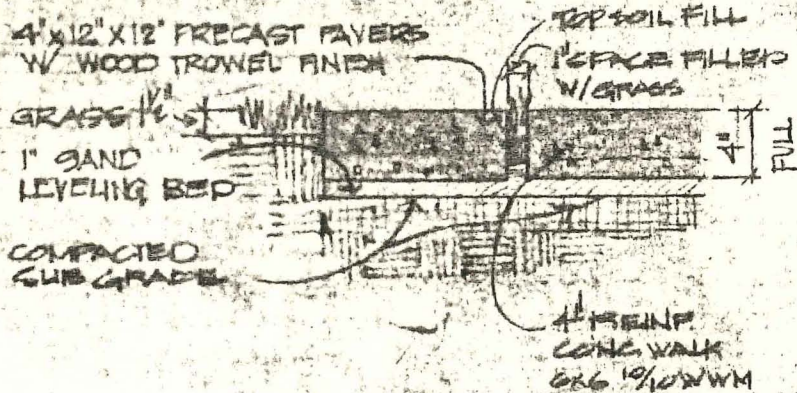
CONC  
 4" REINFC  
 1/2" X 1/2" PRECAST  
 PAVERS  
 5/8" RUN

GRASS  
 3/4" STAIN  
 LAYER

EX. RW'D EAVES (11/2")  
 OFF RD (1/2" RISE)

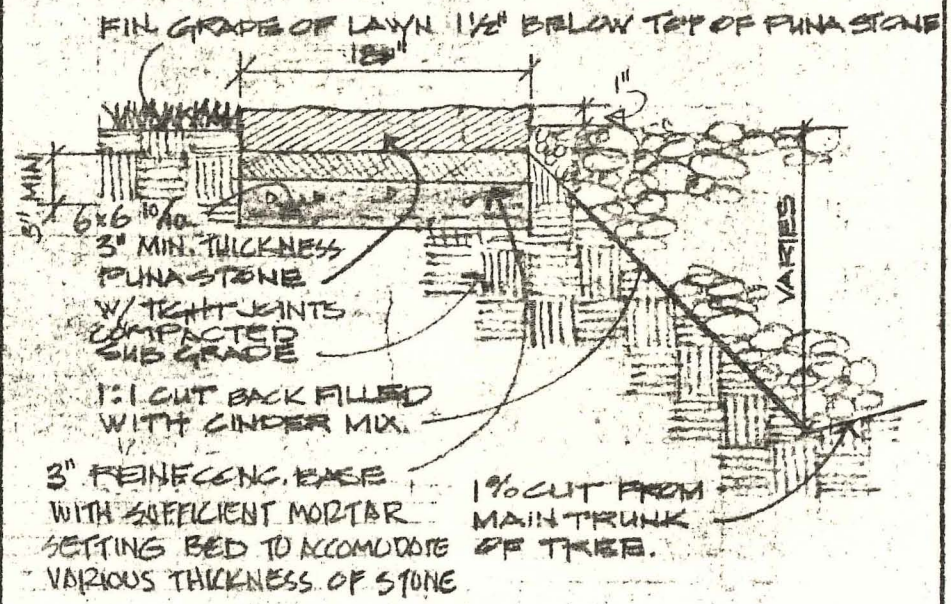
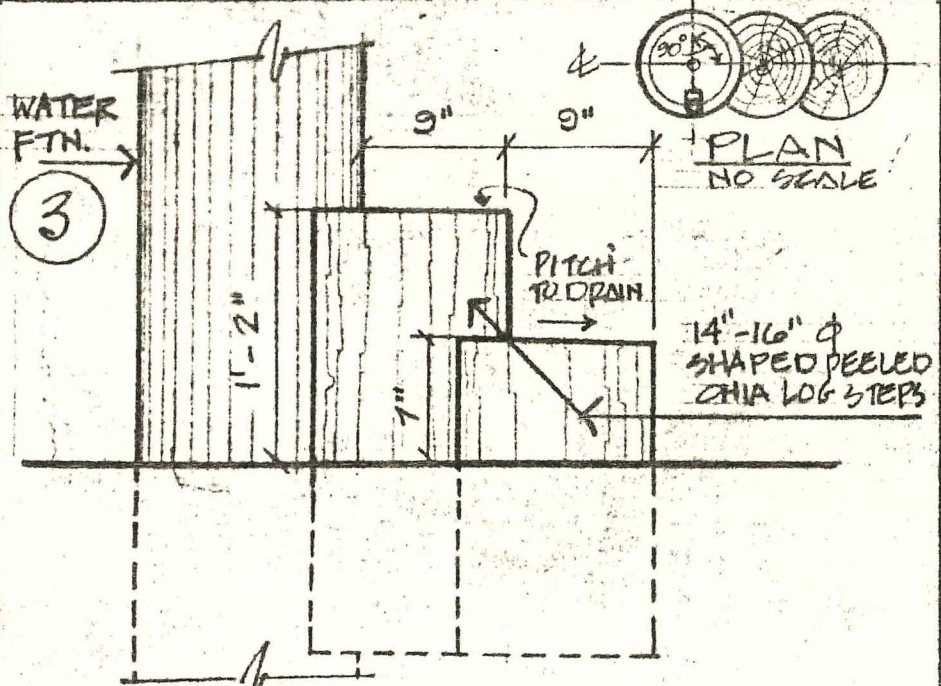


**16 CONCRETE WALK THRU ROAD**  
SCALE: 1" = 1'-0"



**17 CONC. WALK & PAVERS @ GRASS**  
SCALE 1" = 1'-0" SEE (10)

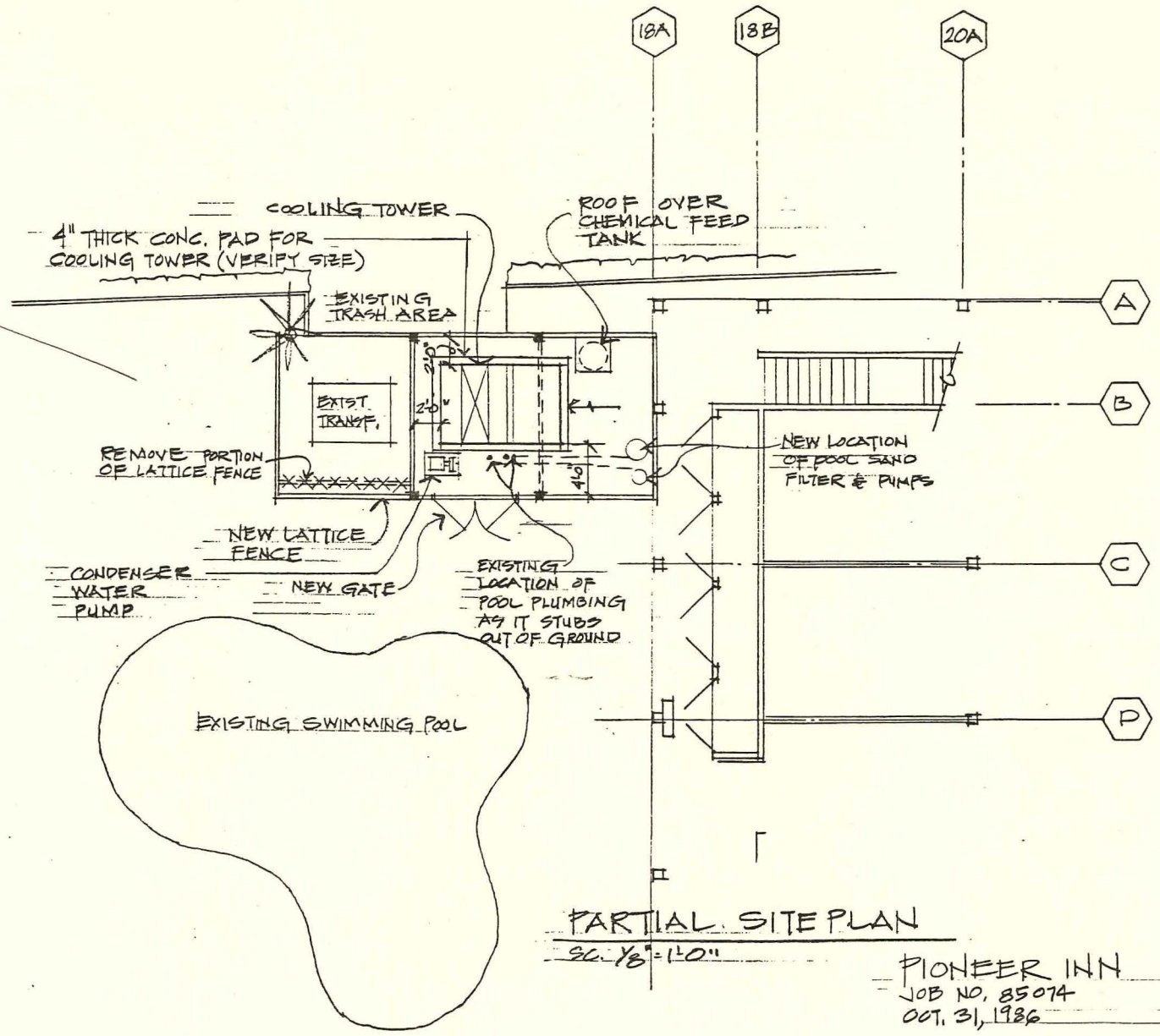
**21 CONC. WALK & PAVERS @ CINDER MIX**  
SCALE 1" = 1'-0" SEE (10)



**18 WATER FOUNTAIN STEPS**  
SCALE: 1" = 1'-0"

**22 MOWING STRIP**  
SCALE: 1" = 1'-0"





PARTIAL SITE PLAN

SC. 1/8" = 1'-0"

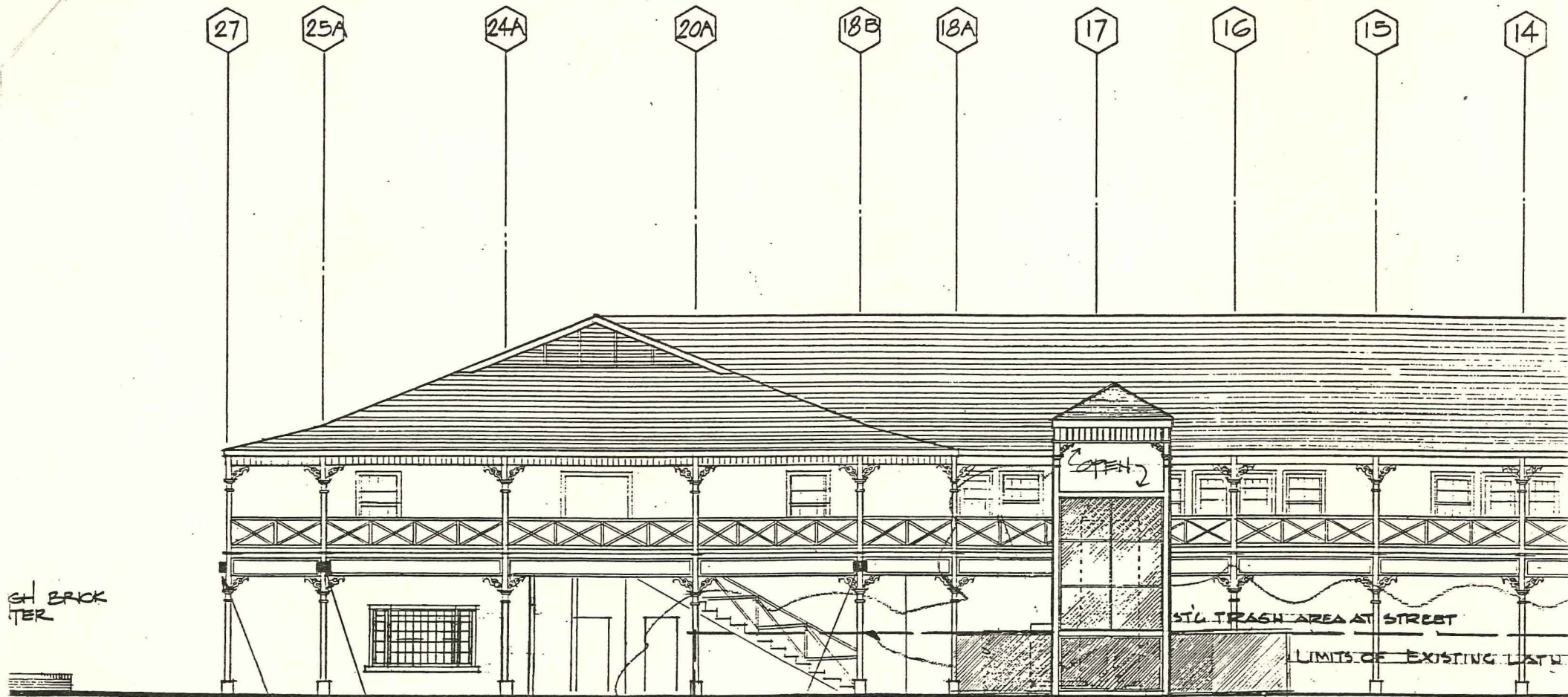
PIONEER INN  
 JOB NO. 85074  
 OCT. 31, 1986

WIMBERLY  
 WHISENAND  
 ALLISON  
 TONG  
 & GOO

**WAT&G**

Architects, Ltd.

SK-1



PAPELEKANE STREET ELEVATION

1/8" = 1'-0"

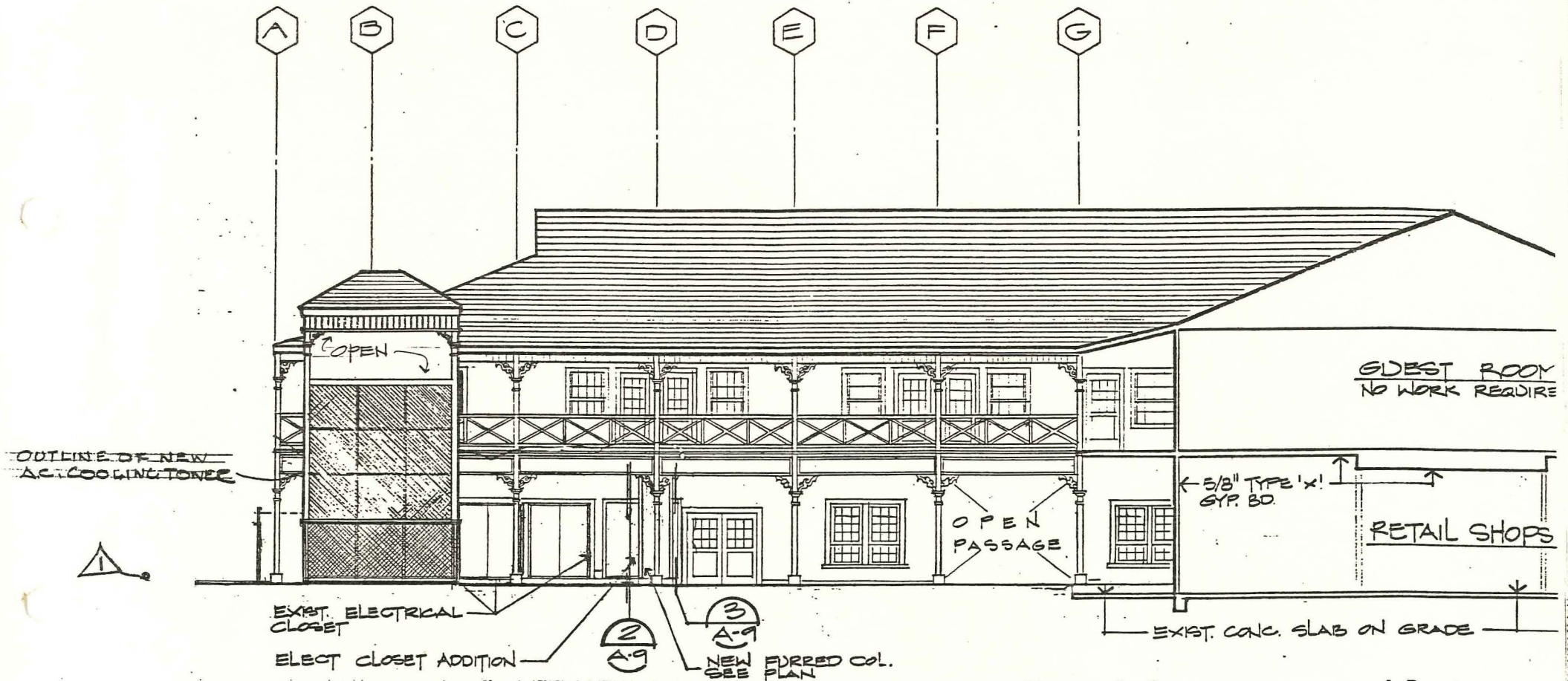
OUTLINE OF NEW A/C COOLING TOWER - SEE LATER DWGS FOR ENCLOSURE

PIONEER INN  
 JOB NO. 85074  
 OCT. 31, 1984

SK-2

WIMBERLY  
 WHISENAND  
 ALLISON  
 TONG  
 & GOO  
 Architects, Ltd.





SECTION C INTERIOR COURTYARD EAST

1/8" = 1'-0"

PIONEER INN  
 JOB No. 85074  
 OCT. 31, 1984

WIMBERLY  
 WHISENAND  
 ALLISON -  
 TONG  
 & GOO  
**WAT&G**  
 Architects, Ltd.

SK-3



# Suggested Bomanite® Specification

## MILD CLIMATE

BOMANITE CORPORATION 10 BOMANITE 83 **2p** PAVING & WALKS

**IMPORTANT NOTE:** A specifier is within his rights to issue a proprietary specification which names only one brand. If in the informed and professional judgment of the specifier, his client's needs will be best served by naming a particular brand, then he has the responsibility to limit his specification to one source. This practice is even acceptable on publicly funded projects. This principle of proprietary specification has found legal support in the case of *Whitten Corp. v. Paddock Pool Builders, Inc.*, a Federal District Court case from Massachusetts (376 F. Supp. 125). Further support came in 1975 when the U.S. Supreme Court rejected further appeal and review.

The licensed Bomanite Contractor is normally a subcontractor, and the Bomanite concrete is called out in a section separate from the regular concrete section. (Section 2p Paving & Walks recommended)

### Scope

All work in this section shall be as designated BOMANITE Tile (or Brick, Cobblestone, Random Stone, Tile etc.) in the plans. The work shall include all labor, material, equipment and transportation required to install BOMANITE. The Contractor for this work shall be licensed, tooled and trained by BOMANITE Corporation to utilize the BOMANITE process and tools. The Contractor shall be required to provide a foreman or supervisor who has done at least three BOMANITE installations of high quality.

For additional information, contact BOMANITE Corporation, 81 Encina Avenue, Palo Alto, California 94301. Tel: (415) 321-0718. Contractors licensed by BOMANITE are:

Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 Phone \_\_\_\_\_  
 Name \_\_\_\_\_  
 Address \_\_\_\_\_  
 Phone \_\_\_\_\_

Preparation work, including sub-grade preparation, finish grading, setting of forms and screeds, and furnishing and installing of reinforcing wire (or bar) shall be done by:

(Note: either the BOMANITE Contractor or the General Contractor can do the preparation, the choice depending on the specific job conditions and the particular contractors involved.)

Work provided by the BOMANITE Contractor shall include:

1. Provide materials: concrete, BOMANITE Color Hardener, BOMANITE Color Curing Compound, and grout (optional).
2. Provide BOMANITE imprinting tools
3. Place concrete
4. Apply BOMANITE Color Hardener
5. Apply BOMANITE imprinting tools
6. Apply BOMANITE Color Curing Compound
7. Grout Joints (optional)
8. Perform final cleanup

### Materials

**Concrete Mix Design:** The Concrete shall have a minimum compressive strength of 3,000 psi. Portland cement shall conform to ASTM C 150, Type I, II or V, depending on soil conditions. Aggregates shall conform to ASTM C 33. Mixing water shall be fresh, clean and potable. A normal-set or retarded-set water reducing admixture complying with ASTM C 494 may be used. Nothing containing calcium chloride is permitted in the mix.

**BOMANITE Color Hardener:** specially formulated for installation of BOMANITE. The color(s) shall be:

The grade shall be (Regular Grade or Heavy Duty):

(Note:

1. For areas subject to very large amounts of pedestrian traffic, BOMANITE Heavy Duty Color Hardener recommended.
2. When natural gray concrete color desired, Concrete Gray BOMANITE Color Hardener is required.
3. While not usually required, integral color may be used as a supplement, but not a substitute for BOMANITE Color Hardener).

**BOMANITE Color Curing Compound:** Curing membrane complying with ASTM C 309 and with all applicable air pollution regulations.

**Grout:** (optional) A mixture of sand, cement and water (and optionally color pigments).

### Installation Process

1. Special concrete mix shall be placed and screeded to the proper grade and floated to a uniform surface in the normal manner.
2. BOMANITE Color Hardener shall be applied evenly to the plastic surface by the dry-shake method using a minimum of 60 pounds per 100 square feet. It shall be applied in two or more shakes, floated after each, and troweled only after the final floating.
3. While concrete is still in the plastic stage of set, the BOMANITE imprinting tools shall be applied to make the desired patterned surface.
4. BOMANITE Color Curing Compound, thinned in the proportion of 1 part cure to 1 part mineral spirits (paint thinner), shall be then applied uniformly for curing with a roller or sprayer. The coverage shall be approximately 600 to 650 square feet per gallon of unthinned curing compound.
5. (Optional) After initial curing, the impressions shall be grouted. A slurry of grout shall be spread over the surface. The surplus grout shall be removed.
6. The surface shall be cleaned to remove residual dust or grout.

BOMANITE CORPORATION 10 BOMANITE 83 **2p** PAVING & WALKS



# Suggested Bomanite Specification/MILD CLIMATE

## Slab Design

See notes below to complete following items:

1. Sub-base (or sub-slab): \_\_\_\_\_  
\_\_\_\_\_
2. Slab thickness: \_\_\_\_\_  
\_\_\_\_\_
3. Reinforcing: \_\_\_\_\_  
\_\_\_\_\_
4. Joints: \_\_\_\_\_  
\_\_\_\_\_

## Notes on Slab Design

BOMANITE has all the basic design characteristics of concrete. The mix design has a minimum compressive strength of 3,000 psi, and reinforcing wire or bar may be specified as with regular concrete slabs. Sub-base preparation should be the same as would be required for a regular concrete slab.

BOMANITE is most often a monolithic slab on grade with a thickness of 4" or greater. While it can be used as a thin topping, the lowest cost usually results from using BOMANITE as a monolithic slab on grade. The necessity for a sub-slab is eliminated.

BOMANITE is also installed as a topping 1/2" or more thick for many applications in both new construction and renovation work. Bulletin #304 gives details of BOMANITE Thinset which utilizes special bonding procedures for thin toppings. Requirements vary for different topping applications and the local BOMANITE Contractor should be consulted when the use of BOMANITE as a topping is being considered.

The normal mix design used has minus 3/8" aggregate, which is satisfactory for most service. Where there are special structural elements, such as tilt-up wall panels or post-tensioned slabs, it is possible to use a regular structural mix containing 3/4" aggregate. Consult the local BOMANITE Contractor for advice when 3/4" aggregate must be used.

The concrete mix design used for BOMANITE is critical to the success of the project. For different types of BOMANITE installations, different mix designs may be used which take into consideration the intended use of the installation and also the local concrete materials available. Specifiers are advised to consult with a local BOMANITE Contractor prior to issuing any special mix design requirements to be certain such requirements are compatible with BOMANITE.

As with any concrete slab, the specifier of BOMANITE should give consideration to construction joints, expansion joints and

various types of crack control joints. BOMANITE Contractors can advise on how best to locate such joints for attractive appearance and to minimize the possibilities of cracking.

Vertical edges of BOMANITE slabs are not normally colored. Clearly specify if vertical faces are to be colored and patterned.

## Maintenance

Acid or caustic solutions should not be used over the finished BOMANITE surface. Interior floors should be maintained the same as with any tile or masonry floor with vacuuming and dustless mopping. If a gloss is desired, the surface may be buffed and a moderate gloss may be achieved. Any standard commercial paste or liquid clear wax may be applied and buffed. A high gloss is not usually possible with BOMANITE because the surface texture is not perfectly smooth. While most exterior BOMANITE receives no maintenance, its appearance is enhanced if it is cleaned and resealed annually with a non-yellowing masonry sealer of a type which breathes water vapor. Many BOMANITE Contractors offer resealing services, and all will advise owners on maintenance.



## International Society OVER 100 CONTRACTORS WORLDWIDE

The BOMANITE International Society of licensed contractors is a worldwide network of specially trained and equipped professionals. Through constant exchange of new ideas, reeducation, and development programs, members of the BOMANITE International Society continue to increase already high standards of quality and service.

The activities of the BOMANITE International Society are coordinated by BOMANITE Corporation. The Corporation also provides services and technical assistance to its member contractors, and to architects, designers and engineers specifying BOMANITE.

For more information, including a list of Members of the BOMANITE International Society, contact:

BOMANITE CORPORATION  
81 Encina Avenue  
Palo Alto, CA  
(415) 321-0718

MANUFACTURERS AGENCY PACIFIC  
1053 KOOHOO PLACE  
KAILUA, HAWAII 96734  
TELEPHONE: (808) 262-2434

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# Suggested Bomacron<sup>®</sup> Specification

**IMPORTANT NOTE:** A specifier is within his rights to issue a proprietary specification which names only one brand. If in the informed and professional judgment of the specifier, his client's needs will be best served by naming a particular brand, then he has the responsibility to limit his specification to one source. This practice is even acceptable on publicly funded projects. This principle of proprietary specification has found legal support in the case of *Whitten Corp. v. Paddock Pool Builders, Inc.*, a Federal District Court case from Massachusetts (376 F. Supp. 125). Further support came in 1975 when the U.S. Supreme Court rejected further appeal and review.

The contractor licensed to install BOMACRON is normally a subcontractor, and the BOMACRON concrete is called out in a section separate from the regular concrete section. (Section 2p Paving & Walks recommended.)

## Scope

All work in this section shall be as designated BOMACRON Ashlar Slate, Used Brick, Boardwalk, etc.) in the plans. The work shall include all labor, material, equipment and transportation required to install BOMACRON. The Contractor for this work shall be licensed, trained and tooled by BOMANITE Corporation to utilize the BOMACRON process and tools. The Contractor shall be required to provide a foreman or supervisor who has done at least three BOMACRON installations of high quality.

For additional information, contact BOMANITE Corporation, 81 Encina Avenue, Palo Alto, California 94301. Tel: (415) 321-0718. Contractors licensed by BOMANITE are:

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_

Name \_\_\_\_\_

Address \_\_\_\_\_

Phone \_\_\_\_\_

Preparation work, including sub-grade preparation, finish grading, setting of forms and screeds, and furnishing and installing of reinforcing wire (or bar) shall be done by:

(Note: either the BOMACRON Contractor or the General Contractor can do the preparation, the choice depending on the specific job conditions and the particular contractors involved.)

Work provided by the BOMACRON Contractor shall include:

1. Provide materials: concrete, BOMANITE Color Hardener, and BOMACRON Release Agent
2. Provide BOMACRON texturing tools
3. Place concrete
4. Apply BOMANITE Color Hardener
5. Apply BOMACRON Release Agent
6. Apply BOMACRON texturing tools
7. Apply final surface treatment

## Materials

**Concrete Mix Design:** The concrete shall have a minimum compressive strength of 4,000 psi (3,000 psi in mild climate areas). Portland cement shall conform to ASTM C 150, Type I, II or V, depending on soil conditions. Aggregates shall conform to ASTM C 33. Mixing water shall be fresh, clean and potable. An air-entraining agent complying with ASTM C 260 shall be used to achieve an entrained air content for the particular concrete mix used in accordance with the published recommendations of the Portland Cement Association and the American Concrete Institute (for freeze-thaw climate). A normal-set or retarded-set water reducing admixture complying with ASTM C 494 may be used. Nothing containing calcium chloride is permitted in the mix.

**BOMANITE Color Hardener:** specially formulated for installation of BOMANITE and BOMACRON. The color(s) shall be:

The grade shall be (Regular Grade or Heavy Duty):

(Note:

1. For areas subject to very large amounts of pedestrian traffic, BOMANITE Heavy Duty Color Hardener recommended.
2. When natural gray concrete color desired, Natural Gray BOMANITE Color Hardener is required.
3. While not usually required, integral color may be used as a supplement, but not a substitute for BOMANITE Color Hardener).

**BOMACRON Release Agent:** specially formulated to prevent bonding of BOMACRON texturing tools to the concrete surface.

## Installation Process

1. Special concrete mix shall be placed and screeded to the proper grade and floated to a uniform surface in the normal manner.
2. BOMANITE Color Hardener shall be applied evenly to the plastic surface by the dry-shake method using a minimum of 60 pounds per 100 square feet. It shall be applied in two or more shakes, floated after each, and troweled only after the final floating.
3. BOMACRON Release Agent shall be applied in accordance with manufacturer's instructions.
4. While concrete is still in the plastic stage of set, the BOMACRON texturing tools shall be applied to make the desired pattern and texture.
5. The surface shall be cleaned to remove residual dust and excess BOMACRON Release Agent.
6. (Optional) The surface may be sealed and burnished with BOMANITE Color Curing Compound.



# Suggested Bomacron Specification

## Slab Design

See notes below to complete following items:

1. Sub-base (or sub-slab): \_\_\_\_\_  
\_\_\_\_\_
2. Slab thickness: \_\_\_\_\_  
\_\_\_\_\_
3. Reinforcing: \_\_\_\_\_  
\_\_\_\_\_
4. Joints: \_\_\_\_\_  
\_\_\_\_\_

## Notes on Slab Design

BOMACRON has all the basic design characteristics of concrete. The mix design has a minimum compressive strength of 4,000 psi (3,000 psi in mild climates), and reinforcing wire or bar may be specified as with regular concrete slabs. Sub-base preparation should be the same as would be required for a regular concrete slab.

BOMACRON is most often a monolithic slab on grade with a thickness of 4" or greater. While it can be used as a thin topping, the lowest cost usually results from using BOMACRON as a monolithic slab on grade. The necessity for a sub-slab is eliminated.

BOMACRON is also installed as a topping 1/2" or more thick for many applications in both new construction and renovation work. Requirements vary for different topping applications and the local BOMACRON Contractor should be consulted when the use of BOMACRON as a topping is being considered.

The concrete mix design used for BOMACRON is critical to the success of the project. For different types of BOMACRON installations, different mix designs may be used which take into consideration the intended use of the installation and also the local concrete materials available. Specifiers are advised to consult with a local BOMACRON Contractor prior to issuing any special mix design requirements to be certain such requirements are compatible with BOMACRON.

As with any concrete slab, the specifier of BOMACRON should give consideration to construction joints, expansion joints and various types of crack control joints. BOMACRON Contractors can advise on how best to locate such joints for attractive appearance and to minimize the possibilities of cracking.

Vertical edges of BOMACRON slabs are not normally colored. Clearly specify if vertical faces are to be colored and patterned.

## Maintenance

Acid or caustic solutions should not be used over the finished BOMACRON surface. Interior floors should be maintained the same as with any tile or masonry floor with vacuuming and dustless mopping. If a gloss is desired, the surface may be buffed and a moderate gloss may be achieved. Any standard commercial paste or liquid clear wax may be applied and buffed. A high gloss is not usually possible with BOMACRON because the surface texture is not perfectly smooth. While most exterior BOMACRON receives no maintenance, its appearance is enhanced if it is cleaned and resealed annually with a non-yellowing masonry sealer of a type which breathes water vapor. Annual resealing is especially recommended in freeze-thaw locations. Many BOMACRON Contractors offer resealing services, and all will advise owners on maintenance.



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**OVER 100 CONTRACTORS**  
**WORLDWIDE**

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81 Encina Avenue  
Palo Alto, CA 94301  
(415) 321-0718

MANUFACTURERS AGENCY PACIFIC  
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KAILUA, HAWAII 96734  
TELEPHONE: (808) 262-2434

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Patent Pending



# Bomacron® Patterns

The patterns shown here are achieved with elastomeric tools which imprint both texture and pattern on the surface of colored concrete.

While these patterns are widely available, some BOMANITE® Contractors do not have all of them in stock for immediate use. Specifiers are not limited to the patterns shown here. New, custom patterns and textures can be produced at reasonable cost. Consult your local BOMANITE Contractor, Sales Representative or BOMANITE Corporation for further information.

## Dimensions

- Dimensions are centerline-to-centerline.
- Overall dimensions are outside dimension of platform-type imprinting tools (smaller hand tools are used also).
- Drawings are not in scale to each other.

## Design Considerations

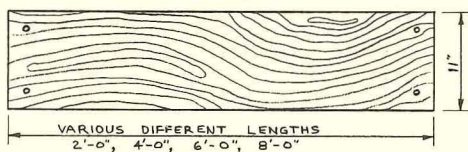
To minimize cost of narrow areas or paths, dimension path width to equal a multiple of platform-type tool dimensions.

CRACK CONTROL JOINTS are recommended on most BOMACRON installations, and in some cases will interrupt the pattern. BOMANITE Contractors can advise on how best to locate such joints for attractive appearance and to minimize the possibilities of cracking.

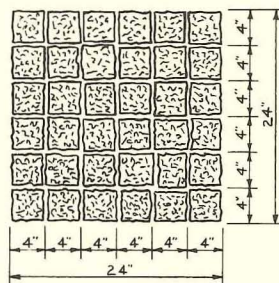
BOMACRON is not usually intended to be an exact simulation of stone, brick or wood, but is often used to achieve similar general appearance.

BOMACRON is a *rustic* product, and since it is constructed from a large mass of concrete under varying jobsite conditions, it is subject to a small degree of variation in geometric precision. Variation in color and texture are an intrinsic part of BOMACRON, and are generally considered to be important aspects of its appeal. Because texture and color cannot be shown accurately in these sketches, it is recommended to view actual installations or samples before making design decisions.

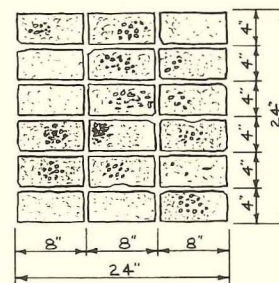
**Boardwalk**



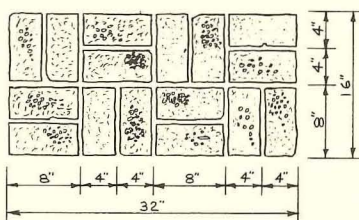
**Stacked Bond Granite Setts**



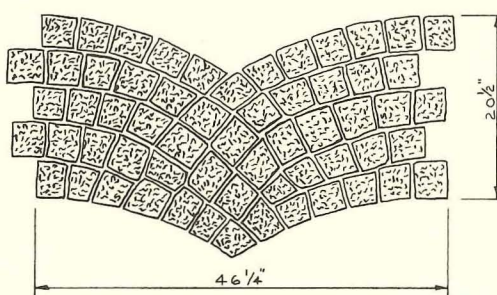
**Stacked Bond Used Brick**



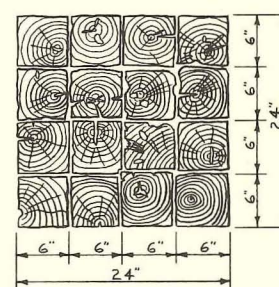
**Basketweave Used Brick**



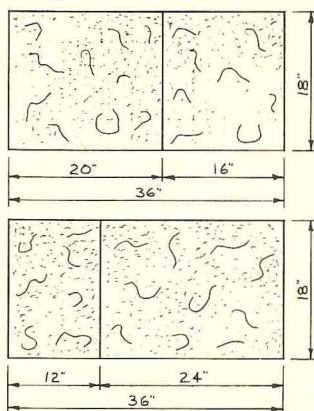
**Fishscale Granite Setts**



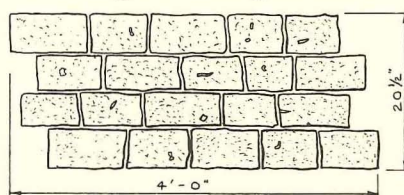
**Stacked Bond Wood Block**



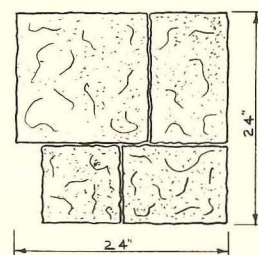
**English Sidewalk Slate**



**Running Bond Belgian Block**



**Ashlar Slate**

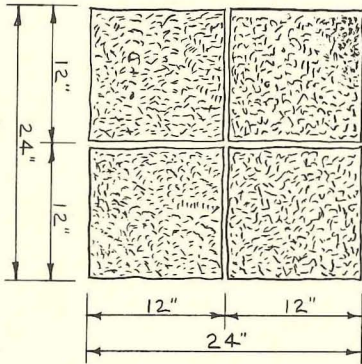


Please see other side for additional BOMACRON patterns.

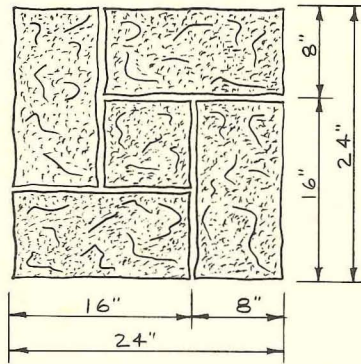


# Bomacron® Patterns

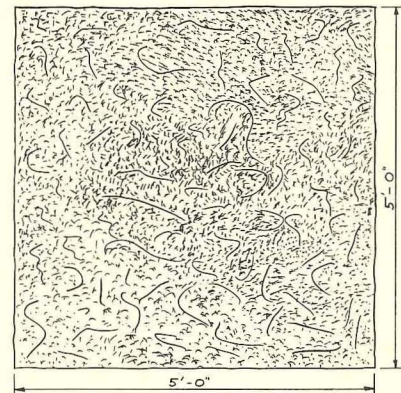
12" x 12" Granite



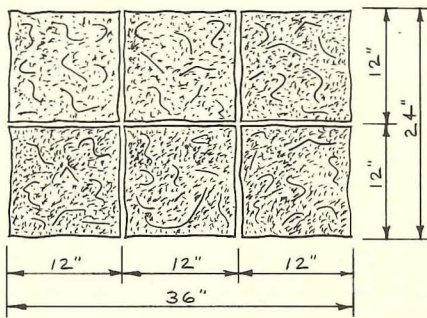
8" x 16" Riverside Slate



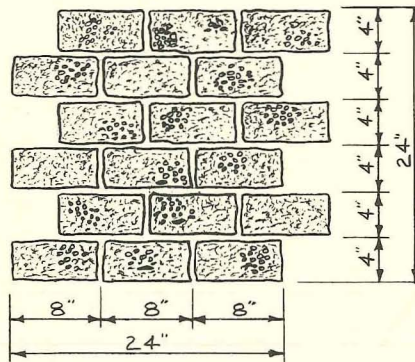
5'-0" x 5'-0" Slate



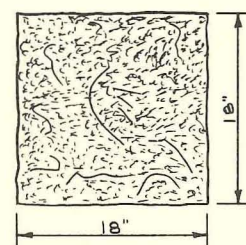
12" x 12" Slate



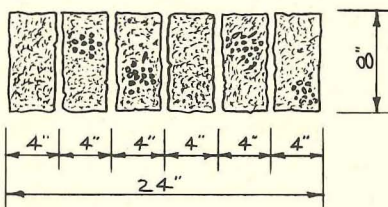
Running Bond Used Brick



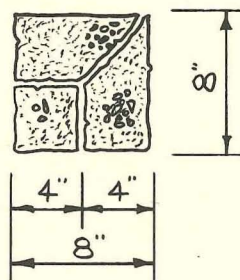
18" x 18" Slate



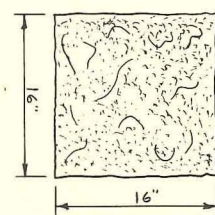
Soldier Course Used Brick



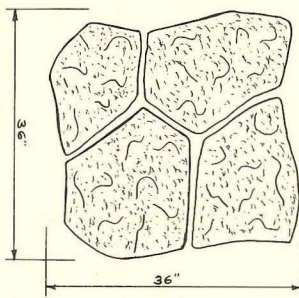
Soldier Course Corner Used Brick



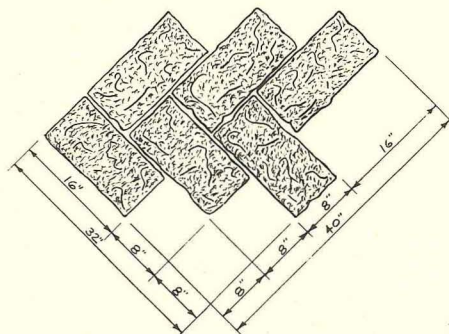
16" x 16" Slate



Random Slate



8" x 16" Herringbone Slate



## Bomanite®

**BOMANITE CORPORATION**  
 81 Encina Avenue  
 Palo Alto, CA 94301  
 (415) 321-0718

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**MANUFACTURERS AGENCY PACIFIC**  
 1053 KOOHOO PLACE  
 KAILUA, HAWAII 96734

TELEPHONE: (808) 202-2400 984-15M



**LITHOCHROME® Color Hardener**  
 or **EMERCHROME® Floor Hardener**  
 with **LITHOCHROME® Colorwax**



**L.M. SCOFIELD COMPANY**

MANUFACTURER & MARKETER OF BUILDING SPECIALTIES SINCE 1933  
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STANDARD COLORS A-112.05

L. M. SCOFIELD COMPANY 85  3p CONCRETE MATERIALS

 A-21 Deep Charcoal	 A-50-P Slate Gray			
 A-23 Cordovan Brown	 A-24 Russet	 A-25	 A-26 Brick Red	
 A-28 Tile Red	 A-29 Terra Cotta	 A-30 Oak	 A-52-P Maple	 A-53-P Arizona Tan
 A-31 Walnut	 A-32 Weathered Wood	 A-55-P Pecan Tan	 A-84 Grass Green	 A-82 Green

L. M. SCOFIELD COMPANY 85  3p CONCRETE MATERIALS

Colors shown approximate as nearly as possible LITHOCHROME or heavy-duty EMERCHROME surface-hardened concrete cured with LITHOCHROME Colorwax. Concrete not so finished will have less brilliance. Scofield's dry-shake hardeners are also available in concrete gray, twenty special architectural colors (Color Chart A-122), and in custom-matched colors. All colors of CHROMIX Admixture (Color Chart A-312) can be duplicated. When a light color of EMERCHROME Floor Hardener is selected, the dark color of the emery aggregate will become noticeable. The concrete substrate should be placed and the dry-shake hardener applied in accordance with Scofield's Tech-Data Bulletin A-104 (for LITHOCHROME Color Hardener) or A-204 (for EMERCHROME Floor Hardener).

**MANUFACTURERS AGENCY PACIFIC**  
 1053 KOOHOO PLACE  
 KAILUA, HAWAII 96734  
 TELEPHONE: (808) 262-2434



DEPARTMENT OF PLANNING  
COUNTY OF MAUI  
200 S. High Street  
Wailuku, Maui, Hawaii 96793  
(808) 244-7735

October 30, 1987

Mr. Larry Dotson  
3858 Mahinahina Street  
Lahaina, Hawaii 96761

Dear Mr. Dotson::

Re: Historic Commission and Special Management Area Permit Approvals for minor exterior renovations (doors and windows) for the Dotson Gallery at the Pioneer Inn shops, TMK 4-6-01:8, Lahaina, Maui (Valuation: \$12,000.00) (87/HDA-39) (87/SM2-258).

The subject property is located within Maui Historic District No. 1 and is, therefore, subject to the requirements of the Maui Historic District Ordinance. The proposal is for minor exterior renovations (doors and windows), therefore, administrative review and action would be appropriate.

Furthermore, pursuant to Section 2-9.5 of the Special Management Area (SMA) Rules and Regulations of the County of Maui, an SMA Minor Permit is required for the following reasons:


1. Said project is a development;
2. Said project has a valuation not in excess of \$65,000;
3. Said project has no significant adverse environmental or ecological effect, taking into account potential cumulative effects; and
4. Said project is consistent with the objectives, policies and Special Management Area guidelines set forth in the Hawaii Revised Statutes 205-A and is consistent with the county general plan and zoning.

In consideration of the foregoing, you are hereby granted Historic Commission Approval and SMA Minor Permit Approval subject to the following conditions:

1. That the architectural details, building materials, and color scheme shall match the existing Pioneer Inn Shops.
2. That the project shall conform to the County's Offstreet Parking and Loading Ordinance.
3. That building and sign permits shall be obtained prior to the initiation of construction or installation.
4. That full compliance with all other applicable governmental requirements shall be rendered.

Thank you for your cooperation. If additional clarification is required, please contact this office.

Very truly yours,

  
CHRISTOPHER L. HART  
Planning Director

encl.  
cc: LUCA/CZM  
Historic District File  
SMA File  
C. Suyama





HANNIBAL TAVARES  
Mayor



CHRISTOPHER L. HART  
Administrator

## MAUI HISTORIC COMMISSION

COUNTY OF MAUI  
200 S. High Street  
Wailuku, Maui, Hawaii 96793

June 23, 1987

Mr. Jeffrey Zimmerman  
Grubb & Ellis Company  
1001 Bishop Street  
Honolulu, HI 96813

Dear Mr. Zimmerman:

Re: Leasing Sign at the Pioneer Inn, TMK 4-6-01:8,  
Lahaina, Maui.

Pursuant to our telephone conversation on June 22, 1987,  
regarding the location of the leasing sign within the confines of  
the Pioneer Inn Building, please be advised that Historic  
Commission and Special Management Area Permit approvals are not  
required.

It should be noted that the Historic Commission at its meeting  
of June 18, 1987 did support the interior location of the sign.

Thank you for your cooperation. If further clarification is  
required, please contact Ms. Ann Molina of this office.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Ralph Maeda".

CHRISTOPHER L. HART  
Administrator  
Maui Historic Commission

AM:hk  
cc: Pioneer Inn file  
Jimmy Galam - LUCA  
A. Molina







# Grubb & Ellis

June 16, 1987

Ms. Ann Molina  
County of Maui-Planning Dept.  
200 South High Street  
Wailuku, Hawaii 96793

RE: THE PIONEER INN- SIGNAGE PERMIT

Dear Ms. Molina:


Pursuant to our conversation of June 15, 1987, this letter will formally request that Jim Lucky, Lahaina Restoration Foundation Director act as my representative during the June 18th meeting.

We will request that the existing Grubb & Ellis leasing sign be attached to the breezeway wall per your request and the second sign removed immediately.

We thank you for your support and hope that we have not caused your office any unnecessary additional work in this matter.

Cordially,

**GRUBB & ELLIS COMPANY**

  
**JEFFREY D. ZIMMERMAN (S)**  
Retail Properties Division

JDZ:tw

cc: Jim Lucky





2ND DIVISION				
Z	S	Pl	Par	Lot
4	6	1	8	

**COUNTY OF MAUI**  
**LAND USE & CODES ADMINISTRATION**  
**DEPARTMENT OF PUBLIC WORKS**

PERMIT

# APPLICATION FOR SIGN PERMIT

NO. \_\_\_\_\_

LOCATION OF SIGN The Pioneer Inn

OWNER Front Street Properties Associates

ADDRESS Post Office Box 50685 Dallas, Texas 75250

ERECTOR Jim Lucky Lahaina Restoration Foundation

ADDRESS Baldwin House Front Street, Lahaina Maui

MAKER Island Sign Company Honolulu, Hawaii

Jeffrey Zimmerman Grubb & Ellis Company

APPLICANT - Print Name

[Signature]  
 APPLICANT - Signature

March 16, 87  
 DATE

CLASS OF SIGN

SIGN

MARQUEE \_\_\_\_\_ ROOF \_\_\_\_\_

PROJECTING \_\_\_\_\_ WALL \_\_\_\_\_

GROUND X\* OTHERS \_\_\_\_\_

\*Announcing Sign for Leasing

PERMISSION TO

- ERECT
- ALTER
- REPAIR
- MOVE

APPROX. WEIGHT 20 lbs.

Type of wall to which sign will be secured.

- MASONRY
- FRAME

Sign will be (check one):  
 Illuminated   
 Non-Illuminated

1. Will sign obstruct fire escape, windows, doors or public alarms, signals, signs? No
2. Lower edge will be 1 ft. 0 in. above grade
3. Upper edge will be 3 ft. 0 in. above grade
4. Height 2 ft. 0 in.
5. Width 3 ft. 0 in.
6. Face area 6 sq. ft.
7. Inner edge will be 24 ft. 0 in. from building
8. Outer edge will be 27 ft. 0 in. from building
9. Lower edge will be 3 ft. above the alley, side walk or private property grade.
10. Sign will extend N/A ft. \_\_\_\_\_ in. above building
11. Sign will project 24 ft. 0 in. beyond the building line.
12. Of what materials will sign be constructed?  
 face wood frame wood  
 supports wood others \_\_\_\_\_
13. Wording of sign: The Pioneer Inn  
Prime Retail Space for Lease  
Grubb & Ellis Co. (808) 531-4202

TO ERECT, CONSTRUCT AND/OR REPAIR, ETC., ALL IN ACCORDANCE WITH THE STATE LAWS, AND ORDINANCES OF THE COUNTY OF MAUI, TO-WIT:

APPROVED: DATE \_\_\_\_\_ 19 \_\_\_\_

DATE \_\_\_\_\_ 19 \_\_\_\_

Historic Commission

State Dept. of Highways

DATE \_\_\_\_\_ 19 \_\_\_\_

APPROVED: DATE \_\_\_\_\_ 19 \_\_\_\_

Planning Official, LUCA

Building Official, LUCA





HANNIBAL TAVARES  
Mayor



CHRISTOPHER L. HART  
Administrator

## MAUI HISTORIC COMMISSION

COUNTY OF MAUI  
200 S. High Street  
Wailuku, Maui, Hawaii 96793

April 14, 1987

Mr. Jeffrey Zimmerman  
Grubb & Ellis Company  
1001 Bishop Street, Ste. 1400  
Honolulu, HI 96813

Dear Mr. Zimmerman:

Re: Leasing Sign at the Pioneer Inn, TMK 4-6-01:8,  
Lahaina, Maui.

87-140C-11  
Please be advised that the administrative guidelines established by the Maui Historic Commission for signs within the Lahaina Historic Districts do not permit a leasing ground sign. Therefore, your request for said sign has been scheduled for review by the Maui Historic Commission at its next meeting on May 21, 1987 at 1:30 p.m. in the Social Hall of the Lahaina Civic and Recreation Center, Lahaina, Maui. You or your authorized representative are respectfully requested to attend the scheduled meeting.

Thank you for your cooperation. If additional clarification is required, please contact my office.

Very truly yours,

A handwritten signature in black ink, appearing to read "Christopher L. Hart".

CHRISTOPHER L. HART  
Administrator  
Maui Historic Commission

CS:hk  
cc: James Luckey  
R. Masuda  
A. Molina  
C. Suyama







ORIGINAL  
FAX

FRONT STREET PROPERTIES ASSOCIATES

Poor Office Box 50685  
Dallas, Texas 75250  
(214) 953-5948

Pioneer, Inc., Manager  
J. Howard Lennon  
President

March 31, 1987

Mr. Jeffrey Zimmerman  
Grubb & Ellis Company  
1001 Bishop Street, Suite 1400  
Honolulu, Hawaii 96813

Re: Pioneer Inn Signage

Dear Jeffrey:

This letter will serve as Front Street Properties Associates' authorization to Grubb & Ellis Company to erect a sign on the Pioneer Inn property to advertise space available for lease. As we are attempting to remain as aggressive as possible in this marketing program, we request that your sign be made visible to the public at your earliest convenience.

Thank you for your cooperation.

Very truly yours,

FRONT STREET PROPERTIES ASSOCIATES

By: PIONEER, INC.,  
Managing Partner



J. Howard Lennon, President

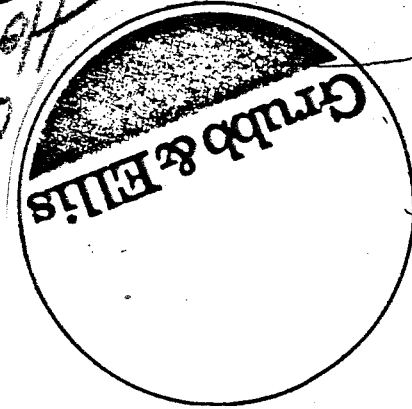
JHL:plb  
4613p





531-4202 808

*Call Homeless*



BLACK

YELLOW

PANTONE® 123C

FOR LEASE

Prime Retail Space

THE PIONEER INN

PANTONE® 349C



*GREEN*

*4x4 posts*

*DEEP*

*1001 Bisson 1422*

*3'*

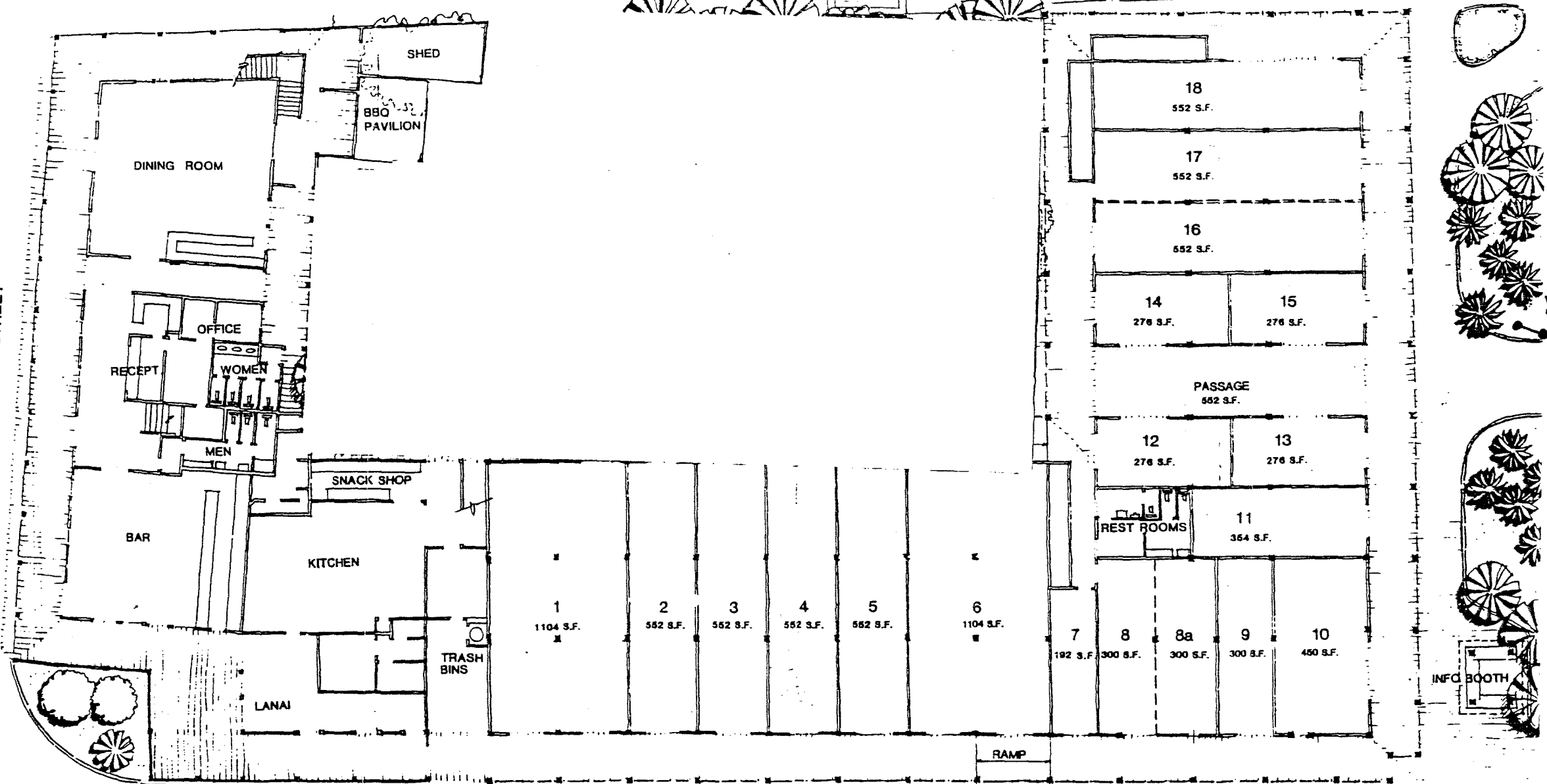
*2'*





PAPELEKANE STREET

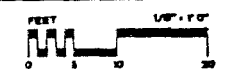
ENTRANCE TO COURTYARD



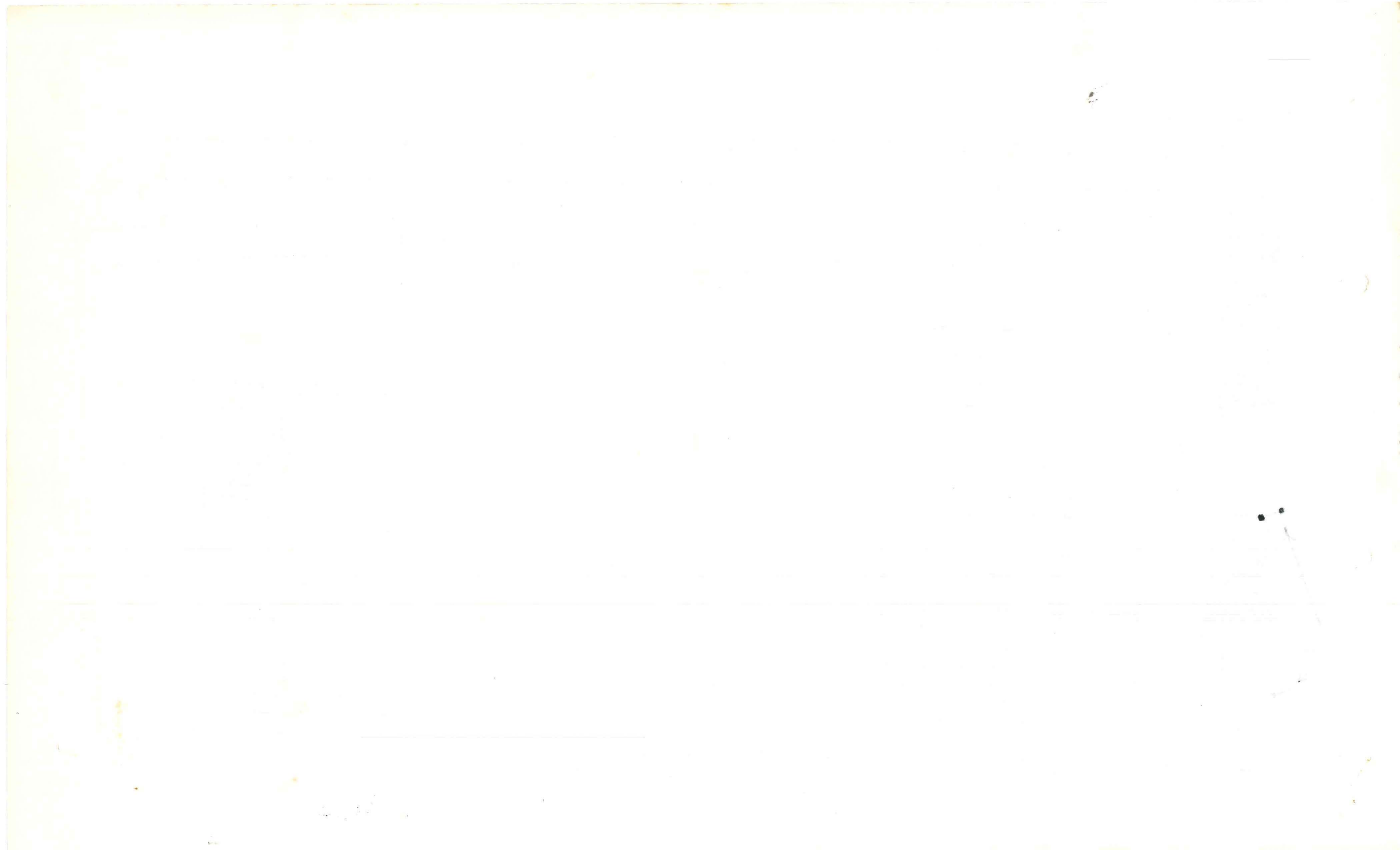
SIGN LOCATION

HOTEL STREET

FIRST FLOOR PLAN







# Grubb & Ellis

March 31, 1987

Ms. Ann T. Molina  
COUNTY OF MAUI-DEPT. OF PLANNING  
200 South High Street  
Wailuku, Maui, Hawaii 96793

RE: PIONEER IN SIGNAGE

Dear Ann:

I have enclosed what I believe, is all the necessary documentation to process my sign permit for The Pioneer Inn. As we are actively trying to complete our leasing program, I would request that this permit be sped through the process, if at all possible. I am available at any time to answer any questions you may have regarding this application.

Thank you for your cooperation.

Cordially,

GRUBB & ELLIS COMPANY



JEFFREY D. ZIMMERMAN (S)  
Retail Properties Division

JDZ:tw





CONFERENCE REPORT

Pioneer Inn Renovations

Maui County Land Use Commission Conference dated September 29, 1987  
Maui County, Building Department Office

Attendees:	Colleen Suyama	-	Maui County	87010
	John Toguchi	-	K/HWM	
	Peter Maertens	-	K/HWM	

Presented: Preliminary renovation plans -  
Untitled, not dated

ITEMS

ACTION BY

- |   |             |
|---|-------------|
| 1. The Planning Commission will assess additional parking requirements to any usable floor area increases or improvements to the courtyard or spaces external to the existing building. Presently, parking requirements at the existing outdoor dining gazebo, storage, and broiler are lifted by grandfathering. Any upgrades or renovations to these areas will rescind the grandfathering condition. 16 additional parking stalls are required by the design presented (125 outdoor seats). Client to determine feasibility of this direction. Advise Architect. | Spencecliff |
| 2. Any new retail floor area (kiosks) is assessed 3 parking stalls per unit. Client to coordinate approval to proceed with Landlord. Advise Architect.  | Spencecliff |
| 3. Floor area increase to accommodate a music area is assessed at 1 space per 100 SF (1 sp). Client to advise Architect.  | Spencecliff |
| 4. Structural Walkways (trellised or roofed) will not be approved. K/HWM to adjust design.  | K/HWM       |
| 5. Food Service equipment on the lanais or walks are not allowed. The existing walk-ins and ice machines outside were approved for the interim construction period of the previous kitchen renovation only and must be relocated into the building's shell.   | Spencecliff |
| 6. The existing floor room window a/c units are not approved. The commission requires they be replaced by self screening units, a central air systems, or removed.  | Spencecliff |
| 7. The existing cooling tower must be totally screened from view. K/HWM to design - client to approve.  |             |





## MAUI HISTORIC COMMISSION

COUNTY OF MAUI  
200 S. High Street  
Wailuku, Maui, Hawaii 96793  
May 22, 1987

Mr. Jeffrey Zimmerman  
Grubb & Ellis Company  
1001 Bishop Street, Suite 1400  
Honolulu, HI 96813

Dear Mr. Zimmerman:

Re: Leasing sign at the Pioneer Inn, TMK 4-6-01:8 Lahaina, Maui.

At its May 21, 1987 meeting, the Maui Historic Commission voted to defer action on the above-mentioned request until the June 18, 1987 meeting, inasmuch as there was no representation by your company at the meeting. The June 18th meeting will be held at the Lahaina Civic Center at 1:30 p.m. You or your authorized representative are respectfully requested to attend the scheduled meeting.

In addition, please be advised that on May 14, 1987, a member of my staff conducted a site inspection of the Pioneer Inn and found that the proposed sign had already been installed. In addition, another leasing sign was found on the opposite corner of the property facing Front Street. Inasmuch as there have not been any permits issued for the signs, they shall be removed immediately. Furthermore, we have notified the Land Use and Codes Administration, who is the enforcement division of the County, of the apparent violation.

If further clarification is required, please contact Ms. Ann Molina of my office.

Very truly yours

A handwritten signature in black ink, appearing to read "Christopher L. Hart".

CHRISTOPHER L. HART  
Administrator  
Maui Historic Commission

AM:hk

cc: Jimmy Galam-LUCA  
A. Molina







STAFF REPORT

May 21, 1987

TO: Maui Historic Commission

FROM: Planning Department Staff

SUBJECT: MR. JEFFREY ZIMMERMAN requesting approval of a leasing sign at the Pioneer Inn, TMK 4-6-01:8, Lahaina, Maui (87/HDC-11).

A. PROJECT DESCRIPTION

The applicant proposes to install a six (6) sq. ft. ground sign for leasing purposes for the Pioneer Inn. (Exhibit "A") The sign will be placed in the planter box on the sidewalk of Front Street. (Exhibit "B") The sign will be of wood construction and patterned after the logo and the design of the Pioneer Inn.

B. ANALYSIS

1. The administrative guidelines established by the Maui Historic Commission for signs within the Lahaina Historic District do not permit a leasing ground sign.
2. The department would be willing to compromise to allow for a leasing wall sign on the building which would be visible from Front Street but would not be directly on Front Street.
3. The proposed sign would be located within the Special Management Area (SMA) of the County of Maui and is therefore, subject to the requirements of the Special Management Area Rules and Regulations. It should be noted that the applicant has submitted said application.
4. The proposed sign is also subject to the Outdoor Sign Ordinance which requires a sign permit. The applicant has filed an application for sign permit subsequently with the Special Management Area Permit Application.
5. On May 14, 1987, staff conducted a site inspection of the Pioneer Inn and found that the proposed sign had already been installed. In addition, another leasing sign was found on the opposite corner of the property facing Front Street. The Commission should be aware that the applicant was informed of the objection to the ground sign and the recommendation by the Planning Department to install a wall sign instead.

RECOMMENDATION

The Planning Department Staff recommends that the proposed ground sign be relocated as a wall sign over the arcade entrance to the Pioneer Inn and that the additional leasing sign shall be removed.

We also recommend that approval of the wall sign shall be limited to 6 months from the granting of this approval, without the possibility of extension, and that compliance with all governmental requirements shall be met.



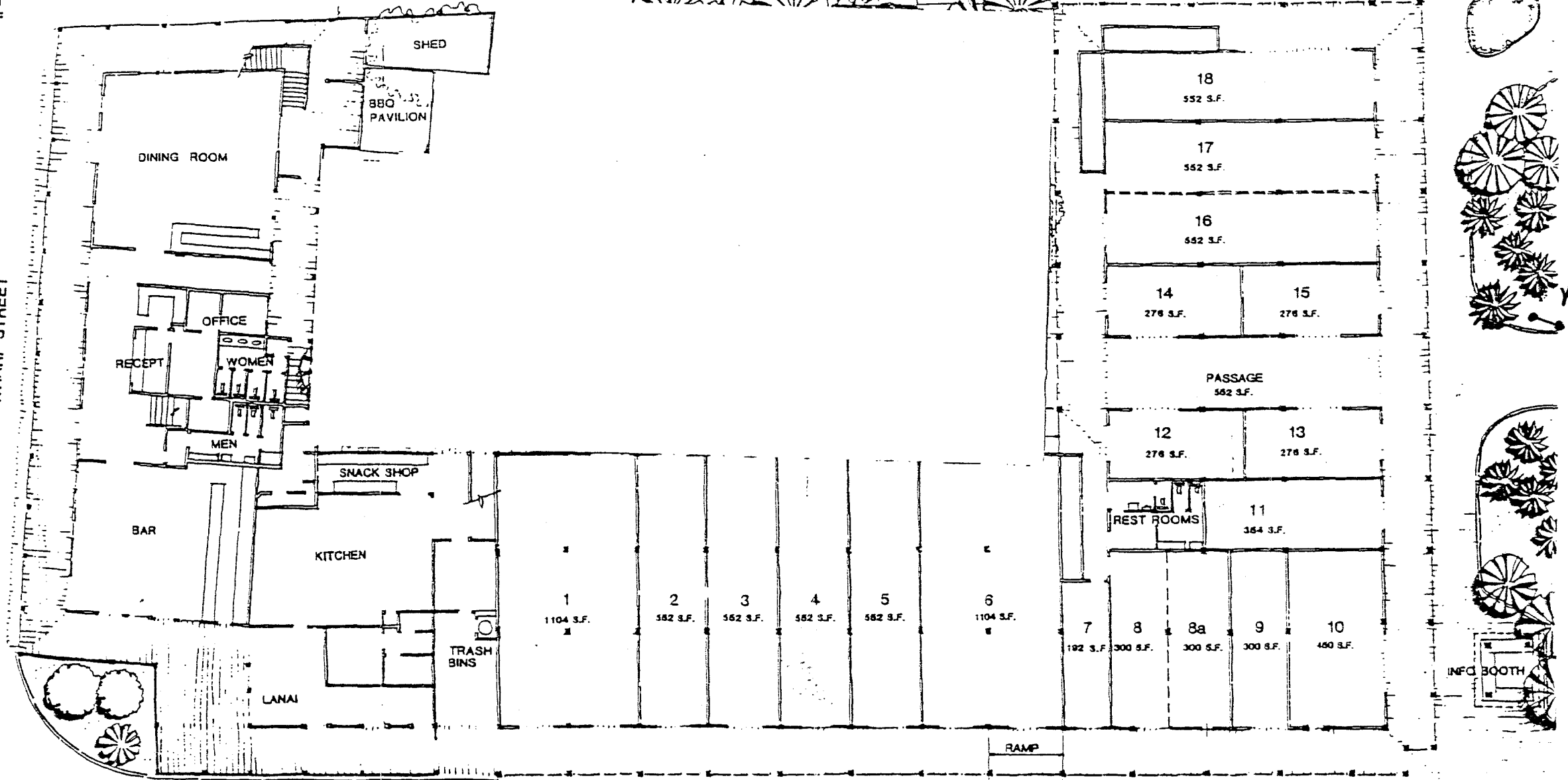


EXHIBIT "B"

WHARF STREET

PAPELEKANE STREET

ENTRANCE TO COURTYARD



SIGN LOCATION

EXHIBIT "B"

HOTEL STREET

FIRST FLOOR PLAN





1001 VISIT 1001

4x4 posts

3'

GREEN



PANTONE® 349C

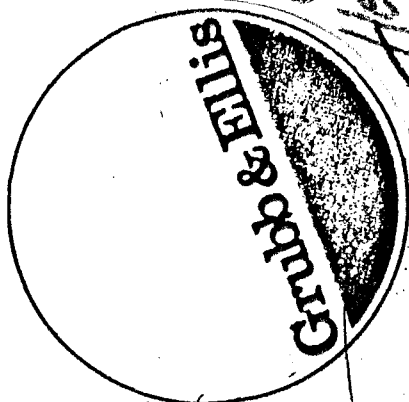
2'

THE PIONEER INN

Prime Retail Space

FOR LEASE

Call Honolulu 808 531-4202



Grubb & Ellis

Call Honolulu 808 531-4202

PANTONE® 123C

YELLOW

BLACK

Exhibit "A"

*[Handwritten signature]*

*[Handwritten signature]*





---

# LAHAINA RESTORATION FOUNDATION

---

P. O. Box 338 / Lahaina, Maui, Hawaii 96761

March 3, 1987

Mr. Christopher L. Hart, Administrator  
Maui Historic Commission  
Planning Department  
County of Maui  
Wailuku, HI 96793

MAR 4 3 51 PM '87  
DEPT. OF PLANNING  
COUNTY OF MAUI

Dear Mr. Hart:

We have been working with your staff, the Spencecliff Corporation, and the owner of the Pioneer Inn to develop a solution to the sun-shade problem on the South side of the dining area.

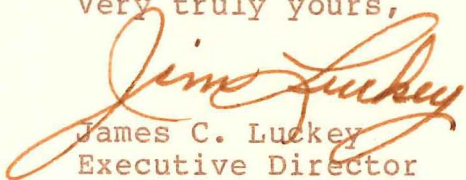
From the enclosed photographs, you will see that roll-down bamboo shades have been used in the past. However, these are subject to considerable wear and tear and are unsightly.

Our proposed solution is to use 80% shade cloth, stretched on 2x2 frames, split into three sections in each opening. These will swivel in the middle so they can be angled outward slightly at the bottom to aid air circulation if necessary.

The panels provide shade effectively, give the very pleasing effect of a screened porch and create a degree of privacy while not obscuring the view of the Banyan Tree. These would also be installed on the Southern exposure of the entrance to the dining area. The makai exposure, with its view to the harbor and ocean, does not require screening and will remain open.

We respectfully request Historic Commission approval of this proposal.

Very truly yours,

  
James C. Luckey  
Executive Director

Filed by request of  
Mr. Luckey

cc: Mr. J. Howard Lennon  
Mrs. Ardel Kaopuiki











11



**COUNTY OF MAUI**

**LAND USE & CODES ADMINISTRATION  
DEPARTMENT OF PUBLIC WORKS  
Application for Building Permit**

PERMIT NUMBER

DATE ISSUED

**FOR LAND USE & CODES ADMINISTRATION USE ONLY**

- I claim an exemption under Sec. 444-2(7) of the HRS and hereby certify that this structure is for my personal use and not for use or occupancy by the general public. I further certify that such building or structure will not be offered for sale or lease within one year after completion.
- I claim exemption from the provisions of Chapter 464 HRS, requiring certification and stamping of plans by a registered architect or structural engineer as permitted under Sec. 464-13(b). I further certify that I will record this exemption with the Bureau of Conveyances as required by Sec. 464-13(c).
- Approval is granted subject to compliance with the use regulations set forth in Chapter 205, HRS and the Land Use Commission's Rules & Regulations. The owner will provide notice of these use regulations to future owners, heirs and assigns. I acknowledge that I have received from the County of Maui a copy of Sec 205-4.5 HRS.

A P P R O V A L S  R E Q U I R E D	AGENCY	SIGNATURE	DATE
	<input type="checkbox"/>	DEPT. OF WATER	
<input checked="" type="checkbox"/>	DEPT. OF HEALTH		
<input checked="" type="checkbox"/>	FIRE MARSHAL	<i>J. Alwili</i>	2-2-87
<input checked="" type="checkbox"/>	ENGIN. LUCA	<i>[Signature]</i>	1/30/87
<input checked="" type="checkbox"/>	BUILDING, LUCA	<i>J. Palumbo</i>	1-30-87
<input checked="" type="checkbox"/>	PLANNING DEPT.	<i>Amr Mohamed</i>	2-2-87

ISSUED BY \_\_\_\_\_ ACCEPT. VAL. \$ \_\_\_\_\_  
PERMIT FEE \$ \_\_\_\_\_

REMARKS:  
*x Interior Work Only!*

X \_\_\_\_\_ SIGNATURE OF OWNER \_\_\_\_\_ DATE \_\_\_\_\_

I hereby certify that I am a bona fide contractor licensed in the State of Hawaii.  
X *[Signature]* SIGNATURE OF CONTRACTOR \_\_\_\_\_ DATE *2/2/87*

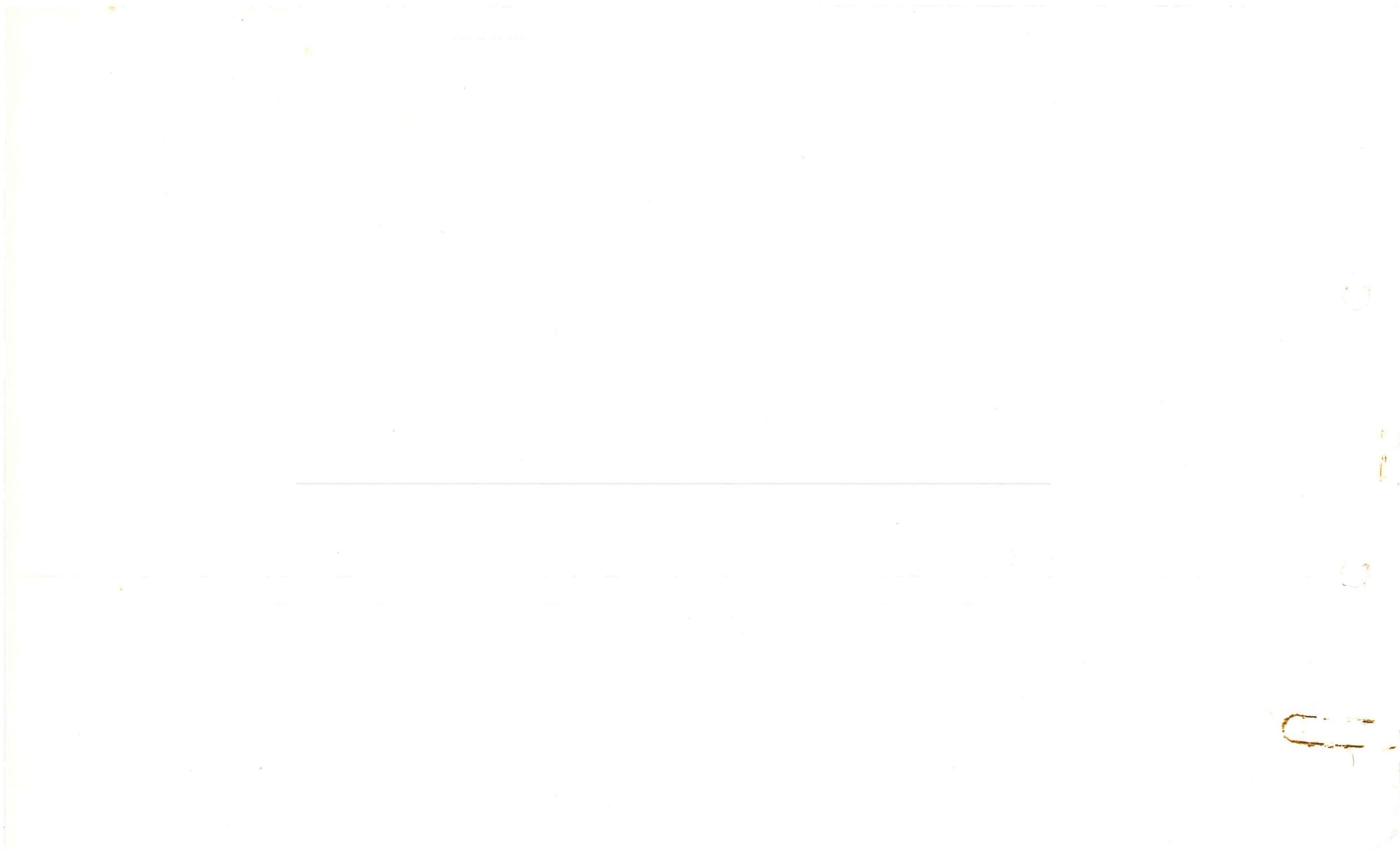
PROJECT NAME	MRS FIELDS COOKIES
CONSTRUCTION TYPE	<i>U-N w/ FIRE SPRINKLER</i>
OCCUPANCY GROUP	B2
OWNERSHIP	1 PVT
ZONE	
FLOOD ZONE	<i>A4</i>

APPLICATION NO.	T	ZONE	SEC	PLAT	PAR	LOT
A 87 0276	M	4	6	001	008	
DATE RECEIVED	K					
01/29/87	(S)					

**APPLICANT: PLEASE FILL IN AREA BELOW (TYPED)**

PROJECT ADDRESS (HOUSE NO. AND STREET)	658 WHARF STREET		
PROJECT ADDRESS (TOWN AND DISTRICT)	LAHAINA TOWN		
LEGAL OWNER (FULL NAME)	FREELAND GEORGE A ETAL		
MAILING ADDRESS (INCLUDE ZIP CODE)	375 KAMANO PL LAHAINA	96761	
LESSEE/TENANT (1)	FRONT STREET PROPERTY ASSOCIATES		
MAILING ADDRESS (INCLUDE ZIP CODE)	P O BOX 50685 DALLAS TX	75250	
LESSEE/TENANT (2)	MRS FIELDS COOKIES		
MAILING ADDRESS (INCLUDE ZIP CODE)	333 MAIN ST PARK CITY UTAH	84060	
LESSEE/TENANT (3)			
MAILING ADDRESS (INCLUDE ZIP CODE)			
PLAN MAKER	ALAN AKIRA MURAKMI	LICENSE NO.	
MAILING ADDRESS (INCLUDE ZIP CODE)			
BUILDER	WESTSIDE CONSTRUCTIO	LICENSE NO.	CT 0012280
MAILING ADDRESS (INCLUDE ZIP CODE)	811 KOLU ST 103 WAILUKU	96793	242-5994
APPLICANT NAME	WESTSIDE CONSTRUCTION	TELEPHONE NO.	242-5994
SIGNATURE OF APPLICANT	<i>[Signature]</i>	DATE	<i>2/2/87</i>

NATURE OF WORK (CHECK ALL THAT APPLY)			
<input type="checkbox"/>	NEW BUILDING	<input type="checkbox"/>	FENCE
<input type="checkbox"/>	RETAINING WALL	<input type="checkbox"/>	SHELL ONLY
<input type="checkbox"/>	ADDITION	<input checked="" type="checkbox"/>	ALTERATION
<input type="checkbox"/>	MISC. STRUCTURE	<input type="checkbox"/>	REPAIR
<input type="checkbox"/>	SITE WORK	<input type="checkbox"/>	SEA WALL
<input type="checkbox"/>		<input type="checkbox"/>	FOUNDATION ONLY
<input type="checkbox"/>		<input type="checkbox"/>	RELOCATION
<input type="checkbox"/>		<input type="checkbox"/>	RECONSTRUCTION
<input type="checkbox"/>		<input type="checkbox"/>	DEMOLITION
<input type="checkbox"/>		<input type="checkbox"/>	SWIMMING POOL
NOW OCCUPIED AS	SHELL		
TO BE OCCUPIED AS	BAKERY/RETAIL		
DIMENSIONS	WALLS		
	NA		
PARTITIONS	FOUNDATION		
	METAL STUDS		
	NA		
FLOORS	ROOF		
	NA		
CEILING	BASEMENT FLOOR		
	SUSPENDED		
	<input checked="" type="checkbox"/>	SEWER OR	ROOF OVERHANG
	<input type="checkbox"/>	CESSPOOL	NA
			ESTIMATED VALUE OF WORK
NO. OF UNITS	NO. OF STORIES	FLOOR AREA	LOT AREA
	2	sf	
PLAN MAKER	DISTANCE TO NEAREST INTERIOR LOT BOUNDARY (FEET)		NEAREST BLDG.
ALAN AKIRA MURAKMI			f
MAILING ADDRESS (INCLUDE ZIP CODE)	RIGHT:	LEFT:	REAR:
			FRONT:
	REMARKS:		
	interior work only		
	Pioneer Inn Space #18		





PLANNING COMMISSION  
David T. Fukuda, Chairman  
Joseph C. Ventura, Vice Chairman  
Toshi Ansel  
Joseph Felipe  
Joseph J. Franco  
Rachael Jio  
Roy Suda  
Tom Sato  
Susumu Sekaida  
Vince Bagoyo, Jr., Ex-Officio  
Alvin Fukunaga, Ex-Officio



HANNIBAL TAVARES  
Mayor

CHRISTOPHER L. HART  
Planning Director

RALPH N. MASUDA  
Deputy Planning Director

COUNTY OF MAUI  
PLANNING DEPARTMENT

200 S. HIGH STREET  
WAILUKU, MAUI, HAWAII 96793

January 28, 1987

Mr. James C. Luckey  
Lahaina Restoration Foundation  
P. O. Box 338  
Lahaina, HI 96761

Dear Mr. Luckey:

Re: Historic Commission Approval of wood benches for Pioneer  
Inn at TMK 4-6-01:8, Lahaina, Maui.

We have reviewed the proposed benches for the Pioneer Inn and  
hereby grant approval subject to the following condition:

"That the benches shall be either the Berkshire or Somerset  
benches identified in your brochure."

Thank you for your cooperation. If additional clarification is  
required, please contact Ms. Colleen Suyama of my office.

Very truly yours,

CHRISTOPHER L. HART  
Planning Director

CS:hk  
cc: LUCA  
Historic Commission  
R. Masuda  
C. Suyama

# LAHAINA RESTORATION FOUNDATION

JAMES C. LUCKEY, Vice President & General Manager

P. O. Box 338 / Lahaina, Maui, Hawaii 96761

11/23/87

Colleen Suyama, et al  
Planning Dept.

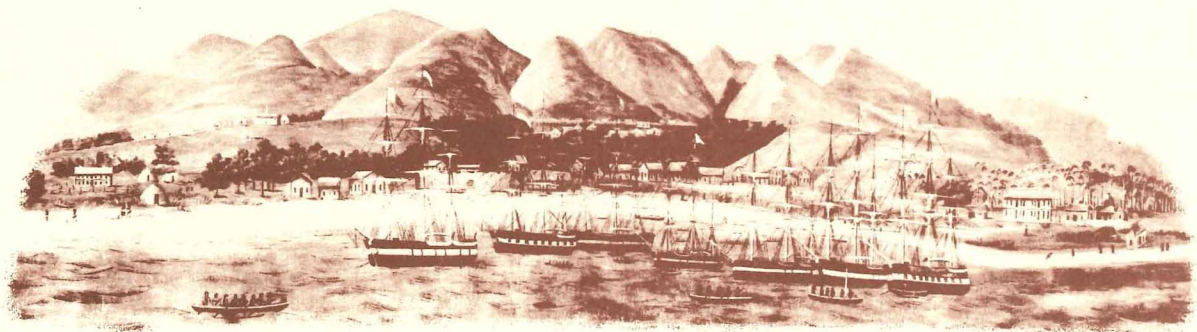
these are proposed for Pioneer Inn breezeway,  
front planter area (8-10) and eventually in  
courtyard (8-10).

I like either one, prefer Berkshire. (Flat  
arms)

you guys have a look and let me know.  
thanks,



cc: Howard Lennon

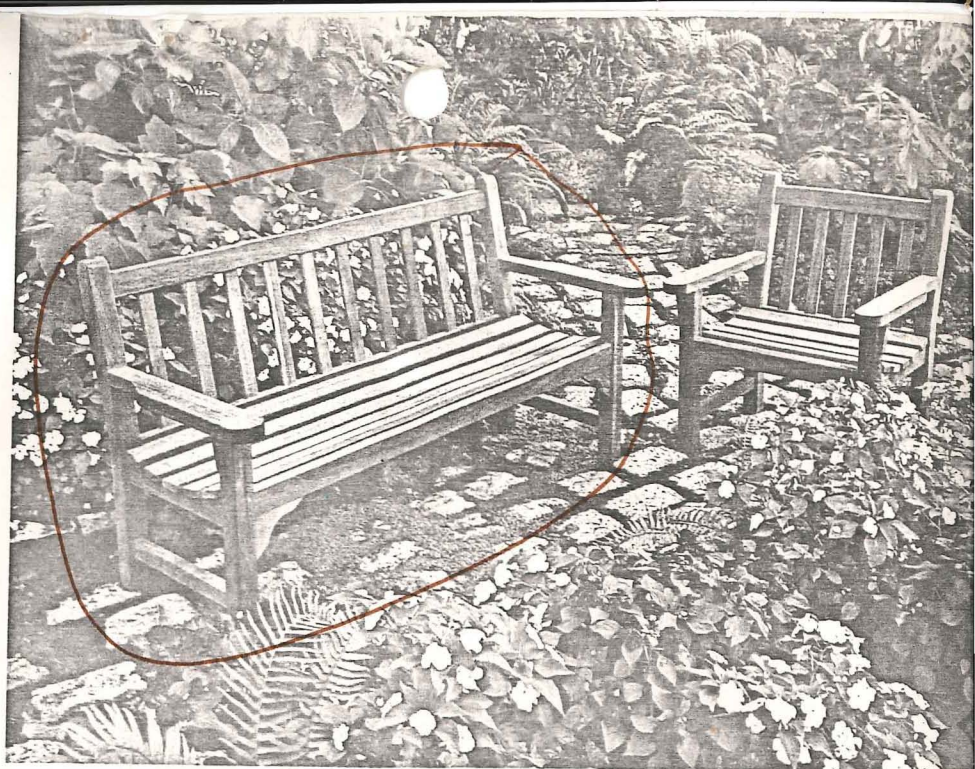


Lahaina, Ancient Capital of Hawaii. With a Cluster of Ships Refreshing (1848).



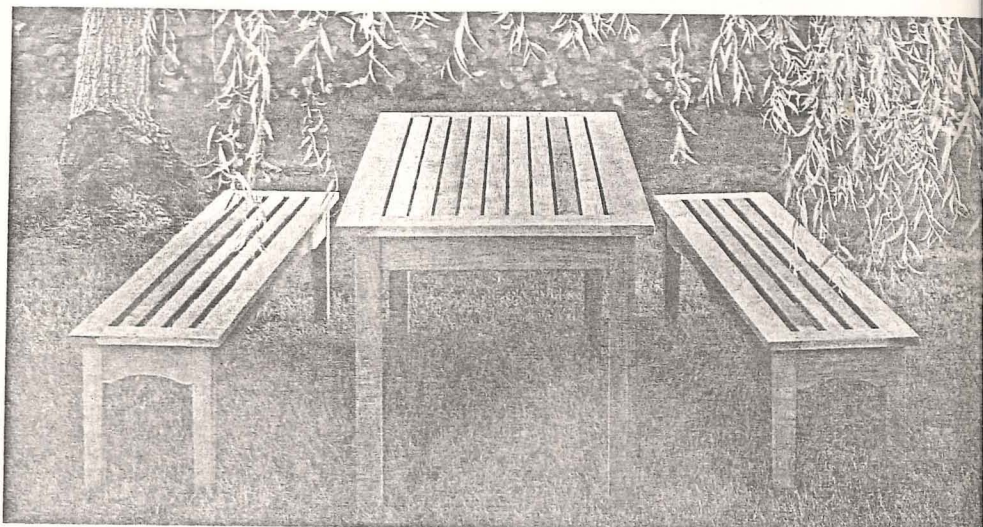
**THE BERKSHIRE RANGE.** This range of benches and chairs is our most popular teak furniture style. It has broad, flat arms, perfect for a cup of tea or as a temporary resting place for a summer novel or an elbow. In this respect, the Berkshire reflects some traditional American styles of outdoor furniture — comfortable, classic, enduring and solid. All armchairs and benches are 33" high and 20" deep in the seat.

4' Berkshire Bench	#5430	\$310.00
5' Berkshire Bench	#5431	\$350.00
6' Berkshire Bench	#5432	\$475.00
Berkshire Armchair	#5435	\$250.00
Berkshire Set: 4' Bench and two Armchairs	#SE50	\$750.00
Berkshire Set: 5' Bench and two Armchairs	#SE51	\$790.00
Berkshire Set: 6' Bench and two Armchairs	#SE59	\$890.00



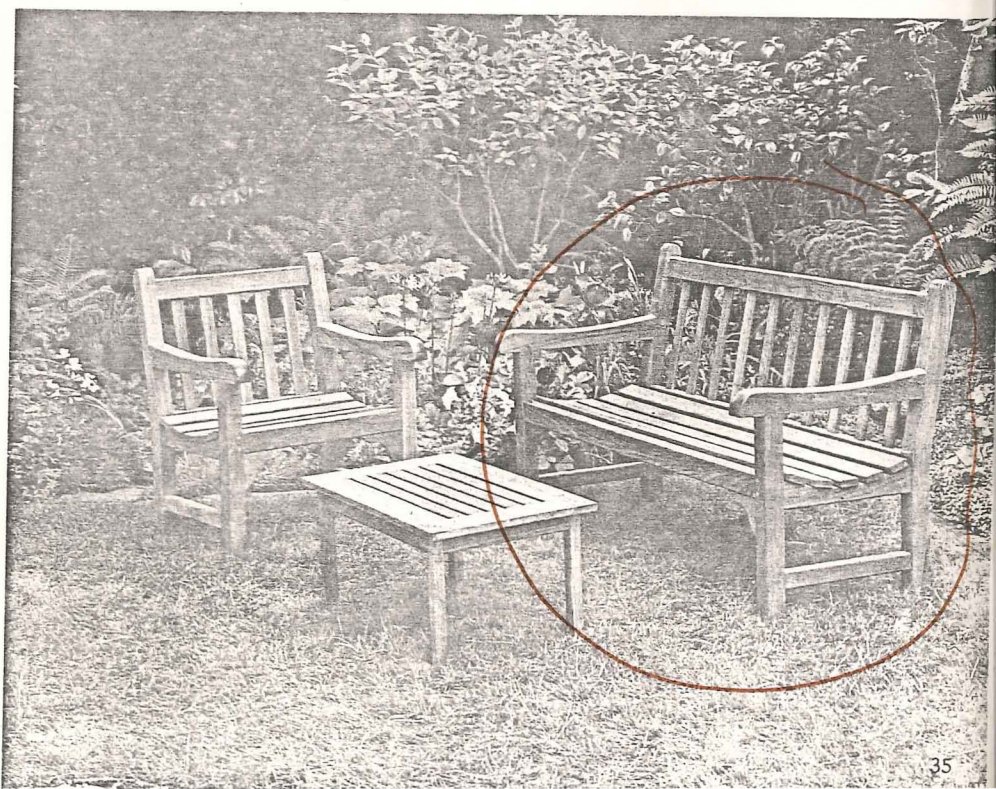
**THE HAMPSTEAD TABLE AND WETHERBY BENCHES.** The Hampstead is a full-sized teak table that seats six comfortably, eight in a pinch. It is slatted so that it will not hold water after a rainfall. The Wetherby teak bench provides comfortable seating for the Hampstead, or can be used as extra seating in any garden, patio, greenhouse or park setting. It is appropriate for poolsides and tennis courts as well, or as a long coffee table for any of our larger teak benches. (See pg. 36 for the Wetherby Bench used as a table with the Kensington Range.) Like all of our teak garden benches and chairs, these pieces weather to an elegant silvery grey and may be enjoyed outside throughout all the seasons of the year. Each comes knocked down with legs that attach using wing nuts. No tools required for assembly.

Hampstead Table 5' x 28" x 27 1/2" high	#5662	\$280.00
Wetherby Bench 5' x 14" x 16" high	#5465	\$180.00
Table Set: Hampstead Table and two Wetherby Benches	#SE52	\$590.00



**THE SOMERSET RANGE.** The Somerset chairs and benches have slightly curved arms with hints of scrolls at the ends. In all other aspects they are identical to the Berkshire. High raked backs and contoured seats provide seating so comfortable that cushions aren't necessary. It's an ideal range for the homeowner, fitting in gracefully in all settings. All armchairs and benches are 33" high and 20" deep in the seat. The Chelsea Coffee Table complements this and each of our other teak furniture styles as well.

4' Somerset Bench	#5420	\$310.00
5' Somerset Bench	#5421	\$350.00
6' Somerset Bench	#5422	\$475.00
Somerset Armchair	#5425	\$250.00
Somerset Set: 4' Bench and two Armchairs	#SE56	\$750.00
Somerset Set: 5' Bench and two Armchairs	#SE57	\$790.00
Somerset Set: 6' Bench and two Armchairs	#SE58	\$890.00
Chelsea Coffee Table 30" x 19" x 14" high	#5664	\$95.00





COUNTY OF MAUI  
PLANNING DEPARTMENT  
200 S. High Street  
Wailuku, Maui, Hawaii 96793

January 16, 1987

Mr. B. Martin Luna  
P. O. Box 1086  
Wailuku, HI 96793

Dear Mr. Luna:

Re: Special Management Area (SMA) Assessment/Minor Permit --

proposed construction of a 43 sq. ft. wood frame pavilion  
at Pioneer Inn, TMK 4-6-01:8, Lahaina, Maui.  
(Valuation: \$8,000.00) (87/SM2-7)

In response to your letter, dated/received on December 31, 1986  
requesting a determination in accordance with the requirements of the SMA  
Rules and Regulations of the County of Maui relative to the above  
project, it is hereby determined, in accordance with Section 2-9.5 of  
said Rules and Regulations, that an SMA Minor Permit is required for the  
following reasons:

1. Said project is a development;
2. Said project has a valuation not in excess of \$65,000.00;
3. Said project has no significant adverse environmental or ecological effect, taking into account potential cumulative effects; and
4. Said project is consistent with the objectives, policies, and Special Management Area guidelines set forth in the Hawaii Revised Statutes 205-A and is consistent with the County General Plan and Zoning.

In consideration of the above determination, you are hereby granted an SMA Minor Permit approval, subject to the following conditions:

1. That full compliance with all terms and conditions of the Maui Historic Commission approval dated January 15, 1987 shall be rendered.
2. That all other State and County requirements shall be met.